
[illegible]



Square Footage	
FINISHED LOWER LEVEL (NET)	1701
FIRST FLOOR (NET)	2031
SECOND FLOOR (GROSS)	2033
- VOLUME SPACE (GROSS)	0
SECOND FLOOR (NET)	2033
TOTAL LIVING (NET)	5765
UNFINISHED BASEMENT	344
GARAGE	428
COVERED FRONT PORCH	193

PER ANSI Z765-2003

Redraws

[illegible]

<p align="center">RESIDENCE FOR:</p> <p align="center">Jason and Dena Rappaport</p> <p align="center">3769 Shannon Road</p> <p align="center">Elevate By Drees, Cleveland OH</p>			
Job Number: DOYL-0178-00	Drawing Date: 02/04/25	Coord Name: Luke R.	Coord Phone: 859 578-4212
House Name: <div> <div>the VANDERBURGH</div> </div>			Drawn By: Brian W.
			Series: II
			Plan No.: N/A

 <p>Drees HOMESSM</p> <p>6860 WEST SNOWHILL ROAD, SUITE 150, BRECKSVILLE, OH 44141 PHONE: (440) 717-9670</p>	<p>Sheet Information</p>	<p>0C.1</p> <p>Cover Sheet Elevation "A"</p>
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Architecture Plan Review: ☒ No Comments ☐ See Comments Items drawn on any drawings and not written in the contract sections WILL NOT be included in the site specific drawings.

Customer Request:	Design Solution:	Reason For Modification:	Comments:
1. Xxxxx	1. Xxxxx	1. Xxxxx	1. Xxxxx
2. Xxxxx	2. Xxxxx	2. Xxxxx	2. Xxxxx
3. Xxxxx	3. Xxxxx	3. Xxxxx	3. Xxxxx
4. Xxxxx	4. Xxxxx	4. Xxxxx	4. Xxxxx

GENERAL NOTES - CLEVELAND

FOUNDATION NOTES

- ALL FOUNDATION WALLS TO BE 8" THICK POURED CONCRETE UNLESS OTHERWISE NOTED.

- PROVIDE FOOTER DRAIN TILE ON OUTSIDE OF FOOTER TO SUMP PUMP OR TO DAYLIGHT.

- BASEMENT WINDOW LOCATIONS MAY VARY FROM DRAWING DUE TO LOT CONDITIONS.

- BACKFILL ADJACENT TO FOUNDATION WALLS SHALL NOT BE PLACED UNTIL THE WALL HAS SUFFICIENT STRENGTH AND HAS BEEN ANCHORED TO THE FLOOR OR HAS BEEN SUFFICIENTLY BRACED TO PREVENT DAMAGE BY THE BACKFILL.

- WATERPROOF FOUNDATION WITH POLY MODIFIED ASPHALT SPRAY.

- ASSUMED ALLOWABLE SOIL BEARING PRESSURE - 2,000 PSF

- PROVIDE FOOTER DRAIN CLEANOUT 10' FROM BACK CORNER ON SIDE OF HOUSE OPPOSITE THE GARAGE.

- EXTERIOR FLATWORK AND GARAGE SLABS SHALL BE POURED WITH A MINIMUM CONCRETE STRENGTH OF 4,500 LBS.

- VERTICAL CONTROL JOINTS IN BASEMENT FOUNDATION WALLS - STANDARD LOCATION GUIDELINES:

1) PLACE A CONTROL JOINT IN ALL UNBRACED WALLS OVER 30' IN LENGTH. (NOTE: "T" WALLS AND CORNERS COUNT AS A BRACE).

2) WINDOWS THAT ARE LARGER THAN THE STANDARD BASEMENT WINDOW REQUIRE A CONTROL JOINT.

3) CONTROL JOINTS ARE NOT REQUIRED AT EVERY WINDOW THAT IS STANDARD SIZE.

4) IF THERE IS A STANDARD WINDOW LOCATED IN A WALL SEGMENT THAT REQUIRES A CONTROL JOINT, THEN THE CONTROL JOINT SHOULD BE PLACED ON THE SIDE OF THE WINDOW THAT IS ADJACENT TO THE LONG SIDE OF THE WALL. IF THERE IS MORE THAN ONE WINDOW IN A WALL THEN ONLY ONE WINDOW SHOULD HAVE A CONTROL JOINT.

5) DOORS DO NOT GET CONTROL JOINTS.

6) CONTROL JOINTS SHOULD NOT BE LOCATED WITHIN 3' OF A BEAM POCKET.

7) CONTROL JOINTS ARE REQUIRED AT THE FIRST AND LAST STEP DOWN AT STEPPED BASEMENT FOUNDATION WALLS.

- OVERALL FOUNDATION WALL HEIGHT MAY VARY BY UP TO 1".

- GARAGE AND BASEMENT SLABS TO HAVE A MINIMUM 6 MIL. VAPOR BARRIER BETWEEN GRAVEL AND SLAB.

- INTERIOR FLATWORK SHALL HAVE A MINIMUM CONCRETE STRENGTH OF 3,000 PSI.

- PLACE GARAGE SLAB CONTROL JOINTS PERPENDICULAR TO ONE ANOTHER, EACH STARTING FROM THE CENTERLINE OF GARAGE WALL. WHEN OVERDIG EXCEEDS 2'-0", SLAB CONTROL JOINTS SHOULD BE OFFSET FROM PLASTER 2'-0" WITH ANOTHER JOINT RUNNING PERPENDICULAR.

- ALL VERTICAL STEEL AND ALL STEEL IN STRUCTURAL SLABS TO BE GRADE 60. ALL HORIZONTAL STEEL IN FOUNDATION WALLS AND FOOTERS TO BE GRADE 40 STEEL.

FRAMING NOTES

DESIGN LOADS:

FLOORS: 40 psf LIVE LOAD + 10 psf DEAD LOAD = 50 psf GARAGE FLOOR: 50 psf LIVE LOAD SEISMIC: "A" & "B"

ROOF: 25 psf LIVE LOAD + 20 psf DEAD LOAD = 45 psf WIND SPEED: 115 MPH

DESIGN DEFLECTION LIMITS (BASED ON LIVE LOAD, EXCEPT MASONRY):

RAFTERS GREATER THAN 3:12 L/180

CEILINGS L/240

ASOWRY VENEER L/600

NOMINAL LUMBER FLOORS: L/360

MANUFACTURED WOOD FLOORS: DESIGNED TO MINIMUM PRO RATING OF 38 (OR EQUIVALENT)*

NO MORE THAN 8 POINT DIFFERENCE BETWEEN ADJACENT SPANS.

* IF PRO-RATING EQUIVALENCY CANNOT BE EVALUATED, ADHERE TO THE FOLLOWING MINIMUMS:

- L/480 [LIVE LOAD] FOR SPANS UP TO 16'-0" AND NO GREATER THAN 1/2" DEFLECTION

- L/600 [LIVE LOAD] FOR SPANS OVER 16'-0" IF SIMPLE SPAN; L/840 FOR SPANS OVER 16'-0" IF CONTINUOUS SPAN. NO GREATER THAN 1/2" DEFLECTION

-JOIST SPACING: 19.2" o.c. MAXIMUM SPACING

DOUBLE EVERY OTHER FLOOR JOIST UNDER KITCHEN ISLANDS

INSTALL UNCOUPLING MEMBRANE IN TILE FLOOR AREAS IF 19.2" o.c. FLOOR JOIST SPACING

GLUE AND MECHANICALLY FASTEN [SCREWS] WOOD FLOOR IF 19.2" o.c. FLOOR JOIST SPACING

- MANUFACTURED WOOD PRODUCTS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL WOOD BEAMS AND I-JOISTS) SHALL BE FABRICATED, HANDLED, AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. PROVIDE I-JOIST PROTECTION AS REQUIRED BY 2019 RCO SECTION 302.13.

-JOISTS ARE NOT TO BE PLACED DIRECTLY OVER INTERIOR PARALLEL WALLS. (TO PREVENT UNEVEN FLOOR DEFLECTION FROM OCCURRING)

- ALL WOOD BEAMS/HEADERS: 2x6 TO BE SPF STUD GRADE OR BETTER

2x8 OR LARGER TO BE NORTHERN HEM FIR #2 KD WITH E-1,400,000 p.s.i.

- ALL WOOD JOISTS TO BE S. PINE #2 KD WITH E-1,700,000 p.s.i., SPAN MUST BE LESS THAN 20', USE HEM FIR IF SPAN IS 20' OR MORE.

- ALL LVL's TO BE TJM MICROLLAM WITH Fb=2600, Fv=285, MOE=1.9, Fc=750.

- ALL STEEL BEAMS TO HAVE A 2x6 TOP PLATE.

- ALL STEEL COLUMNS TO BE 3-1/2" IN DIAMETER AND ADJUSTABLE, UNLESS OTHERWISE NOTED.

-- EXTERIOR WALL TO BE 2x4 SPF STUD GRADE AT 16" O.C. UNLESS OTHERWISE NOTED (WALL HEIGHTS 10'-0"+, SIZES WILL BE NOTED PER PRINTS)

- ALL INTERIOR BEARING WALLS AND WALLS AT BASEMENT & FIRST FLOOR STAIRWELLS, KITCHEN, AND GARAGE TO BE 2x4 SPF STUD GRADE AT 16" O.C.; ALL OTHER NON-BEARING INTERIOR WALLS TO BE 2x4 SPF STUD GRADE AT 24" O.C. UNLESS OTHERWISE NOTED.

- ALL WALLS TO BE 3 1/2" UNLESS OTHERWISE NOTED.

- PROVIDE 4-1/2" SOLID BEARING TO FOUNDATION OR BEAM BELOW FOR ALL BEAMS, HEADERS, AND GIRDER TRUSSES. PROVIDE BLOCKING BETWEEN JOISTS AS REQUIRED.

- CHECK SELECTIONS FOR FLOOR COVERINGS AT TOP AND BOTTOM OF STAIR RISERS AND ADJUST RISER HEIGHT AS NEEDED.

- SEE FIREPLACE ELEVATION DETAIL FOR ADDITIONAL FRAMING REQUIREMENTS, IF ANY, AND SEE SELECTION SHEET FOR SIZE AND STYLE OF FIREPLACE.

- PROVIDE BLOCKING AT ALL HANDRAIL BRACKETS, TOWEL BARS AND TOILET PAPER HOLDER LOCATIONS.

- PROVIDE 20 MIN. FIRE-RATED DOOR AT GARAGE/HOUSE ENTRY.

- PAD OUT GARAGE WALL CAVITIES/ FLOOR JOIST CAVITIES 3-1/2" TO RECEIVE FULL BATT INSULATION IF HEATING/ PLUMBING ARE PRESENT. FRAMING FOR HVAC CHASE TO EXTEND DOWN TO GARAGE SLAB.

- ALL BEARING WALLS TO HAVE DOUBLE TOP PLATE.

- A PARTIALLY EXPOSED EXTERIOR WALL, WALL SHEATHING SHOULD CONTINUOUSLY RUN TO BOTTOM OF SUB FLOOR.

- ALL LUMBER CONTACTING CONCRETE TO BE PRESSURE TREATED.

- ALL FASTENERS, HANGERS, AND OTHER CONNECTORS TO BE USED WITH PRESSURE TREATED WOOD ARE TO HAVE ZMAX COATING (OR EQUIVALENT) HOT-DIPPED GALVANIZED OR STAINLESS STEEL.

- STAIR NOSING SHOULD BE 3/4" TO 1-1/4" MAX. STAIR TREADS ARE DIMENSIONED FROM NOSING TO NOSING, WITH A 9" MIN. TREAD.

-ALL EXTERIOR WALLS AND INTERIOR BEARING WALLS, FRAMED HIGHER THAN THE STD PLATE HEIGHT, SHALL BE FRAMED WITH CONTINUOUS FULL HEIGHT STUDS TO THE HIGHEST CEILING (I.E. NO INTERMEDIATE BREAKS) TO PREVENT LATERAL HINGE CONDITIONS.

-5/8" (MIN.) OSB TO BE INSTALLED ON PORCH CEILINGS WHEN LIVING SPACE IS ABOVE.

- ALL EGRESS WINDOWS TO HAVE MINIMUM OPENING DIMENSIONS OF 24" IN HEIGHT, 20" IN WIDTH, AND HAVE A MINIMUM OPENING AREA OF 5.7 S.F. - ALL EGRESS WINDOWS TO BE A MAXIMUM OF 44" OFF OF FINISHED FLOOR.

FRAMING NOTES

-GUARDRAIL DESIGN LOAD TO RESIST A MINIMUM OF 200 LBS LATERAL FORCE.

-ALL GLASS IN INTERIOR AND EXTERIOR DOORS TO BE TEMPERED (INCLUDING SIDELITES AND TRANSOMS).

-IN THE GARAGE, PROVIDE 1/2" GYP. BOARD AT ALL WALLS COMMON TO LIVING SPACE AND ALL STRUCTURAL MEMBERS SUPPORTING FLOOR/CEILING ASSEMBLY. GARAGE CEILING TO BE 1/2" SAG RESISTANT GYP. BOARD WHEN THERE ARE NO HABITABLE SPACES ABOVE, OR 5/8" TYPE X GYP. BOARD WHEN HABITABLE SPACES ARE ABOVE.

-STAIRS IN LOWER LEVEL: IF THERE IS A DOOR INTO SPACE UNDER STAIR, THEN 1/2" GYP. BOARD REQ'D ON INSIDE OF STORAGE SPACE & UNDERSIDE OF STAIR IF THERE IS NO DOOR INTO SPACE

-UNDER STAIR, IT IS CONSIDERED OPEN AND NO GYP. BOARD IS REQ'D.

MECHANICAL NOTES

- SMOKE DETECTORS TO BE 110V AND HARD WIRED. PROVIDE BATTERY BACK-UP AND INTERCONNECT (WHEN ONE SOUNDS, ALL SOUND).

- ALL GAS APPLIANCES MUST BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

- A STAIR HANDRAIL, ON ONE SIDE ONLY, SHALL BE CONTINUOUS FOR THE ENTIRE LENGTH OF THE STAIRWAY, AND ENDS SHALL BE RETURNED TO A WALL OR POST. THE HANDRAIL MAY BE INTERRUPTED AT A NEWEL POST AT A TURN.

- HANDRAILS SHALL BE INSTALLED ON ALL STAIRS WITH 3 OR MORE RISERS. HANDRAIL HEIGHT SHALL BE 34" MIN. / 38" MAX.

- ALL HANDRAIL GRIP PORTIONS SHALL NOT EXCEED 2 5/8" IN CROSS-SECTIONAL DIMENSION.

- KITCHEN BACKSPLASH OUTLETS TO BE LAID FLAT, 37-1/4" FROM TOP OF SUBFLOOR TO BOTTOM OF BOX.

- GUARDRAILS TO BE 36" (MIN.) HIGH. GUARDRAILS AT THE OPEN SIDES OF STAIRS TO BE 36" (MIN.) HIGH, MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. THE HORIZONTAL SPACING OF THE VERTICAL BALUSTERS SHALL BE 4" O.C.

- GROUND FAULT CIRCUIT INTERRUPTER (GFCI) OUTLETS TO BE INSTALLED PER NEC 2017, SECT. 210.8; ADD TAMPER RESISTANT AND GFCI.

- ARC FAULT CIRCUIT OUTLETS TO BE INSTALLED PER NEC 2017, SECT. 210.12

- PROVIDE HOSE BIBS PER DIVISION SPEC. SHEET. EXACT LOCATION TO BE FIELD DETERMINED, UNLESS OTHERWISE NOTED ON THE PLANS.

- MIN. 50 C.F.M. FOR ALL EXHAUST FANS IN BATHROOMS

- ALL HOUSES TO HAVE A PROGRAMMABLE THERMOSTAT.

- TO COMPLY WITH SECTION 405 OF THE 2018 IECC (PERFORMANCE PATH).

SECTION, DETAILS & ROOF PLAN NOTES

- PRE-ENGINEERED WOOD TRUSSES @ 24" O.C. UNLESS NOTED OTHERWISE.

- SEE TRUSS MANUFACTURER'S SHOP DRAWINGS FOR TRUSS LAYOUT AND DESIGN INCLUDING GIRDER TRUSSES AND BEAM LOCATIONS.

- ALL GIRDER TRUSSES TO BE BOLTED TOGETHER ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

- TRUSSES TO BE BRACED AND INSTALLED ACCORDING TO MANUFACTURER SPECIFICATIONS.

- TRUSS MANUFACTURER'S DIMENSIONS ARE TO OUTSIDE OF SHEATHING.

- ROOF TRUSS MANUFACTURER TO SPECIFY ALL CONNECTIONS AND HANGERS ON SHOP DRAWINGS.

- REFER TO HIB-91 OF TPI (TRUSS PLATE INSTITUTE) FOR SPECIFIC BRACING RECOMMENDATIONS AND REQUIREMENTS.

- TRUSS MANUFACTURER TO PROVIDE ENGINEERED TRUSS DRAWINGS TO THE FIELD ALONG W/ HIB-91 PRIOR TO ERECTION OF TRUSSES.

- PROVIDE A 2x4 LEDGER TO ACCEPT ROOF SHEATHING WHERE A FIRST FLOOR ROOF MEETS THE SIDE OF A SECOND FLOOR.

- PROVIDE 15# FELT PAPER UNDER SHINGLES

- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL TEMPORARY SHORING AND BRACING DURING CONSTRUCTION FOR ALL ELEMENTS INCLUDING WALLS, JOISTS, TRUSSES COLUMNS, MASONRY AND OTHERS AS REQUIRED.

- PROVIDE ICE AND WATER GUARD AT ALL EAVES AND VALLEYS.

- ROOF TRUSSES WILL BE FASTENED BY CONNECTORS THAT WILL RESIST A MINIMUM OF 175 LBS OF UPLIFT

- PROVIDE 7/16" ROOF SHEATHING.

- INSTALLATION OF AN ICE BARRIER IS REQUIRED. THE ICE BARRIER SHALL CONSIST OF NOT FEWER THAN TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER, OR A SELF-ADHERING POLYMER-MODIFIED BITUMEN SHEET SHALL BE USED IN PLACE OF NORMAL UNDERLAYMENT AND EXTEND FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POINT NOT LESS THAN 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. THE 24 INCH MEASUREMENT SHALL BE ALONG THE SLOPE OF THE ROOF FROM THE POINT WHERE THE PROJECTED OUTSIDE FACE OF THE WALL INTERSECTS THE ROOF DECK. ON ROOFS WITH SLOPE EQUAL TO OR GREATER THAN EIGHT UNITS VERTICAL IN 12 UNITS HORIZONTAL (67-PERCENT SLOPE), THE ICE BARRIER SHALL ALSO BE APPLIED NOT LESS THAN 36 INCHES (914 MM) MEASURED ALONG THE ROOF SLOPE FROM THE EAVE EDGE OF THE BUILDING.

- DO NOT LOCATE ROOF TRUSSES ABOVE PARALLEL PLUMBING WALLS AND/OR HVAC CHASES.

ELEVATION NOTES

- WINDOW STYLE AND MULLIONS MAY VARY FROM ELEVATION DEPENDING UPON MANUFACTURER, STYLE, PATTERN, TYPE, ETC.

- FRONT DOOR COACH LIGHTS (IF ANY) TO BE SET AT 5'-8" ABOVE FINISHED SURFACE.

- GRADE AWAY FROM FOUNDATION WALLS SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10'.

- PROVIDE BRICK WEEP HOLES WITH WEEP CARDS AT 24" o.c. WITH BRICK VENEER.

- PROVIDE FLASHING AND WEEP HOLES AT 32" O.C. ABOVE BRICK ANGLE IRONS.

- PROVIDE BRICK WALL TIES AT 16" o.c. HORIZONTALLY AND VERTICALLY. PROVIDE BRICK WALL TIES WITHIN 12" OF ANY BRICK OPENINGS AT A MAXIMUM OF 36" o.c. AROUND OPENING.

- WRAP ALL FRIEZE AND FASCIA TRIM BOARDS IN ALUMINUM.

- REFER TO DETAIL ON SHEET IN THE BUILDER BOOK FOR STONE INSTALLATION DETAILS.

- PAD OUT ALL GABLE ENDS (WITHOUT GABLE EXTENSIONS) W/ (2) 1x3s PLACED SIDE BY SIDE WITH THE 1x8 OVER THE TOP TO COVER THE ENDS OF THE SIDING.

- USE EXTERIOR PROTECTIVE COVERINGS ON ALL DIRECT VENT FIREPLACES (IF ANY).

- EXTERIOR STEPS TO HAVE A MAXIMUM 8" RISER. WHEN VERTICAL RISE EXCEEDS 30' OR FOUR OR MORE CONTINUOUS RISERS, A HANDRAIL IS REQUIRED.

RESIDENCE FOR:

Jason and Dena Rappaport

3769 Shannon Road

Elevate By Drees, Cleveland OH

Job Number: DOYL-0178-00	Drawing Date: 02/04/25	Coord Name: Luke R.	Coord Phone: 859 578-4212
House Name: Drawing Scale: 1/8" = 1'-0"			Drawn By: Brian W.
the VANDERBURGH			Series: II
			Plan No.: N/A

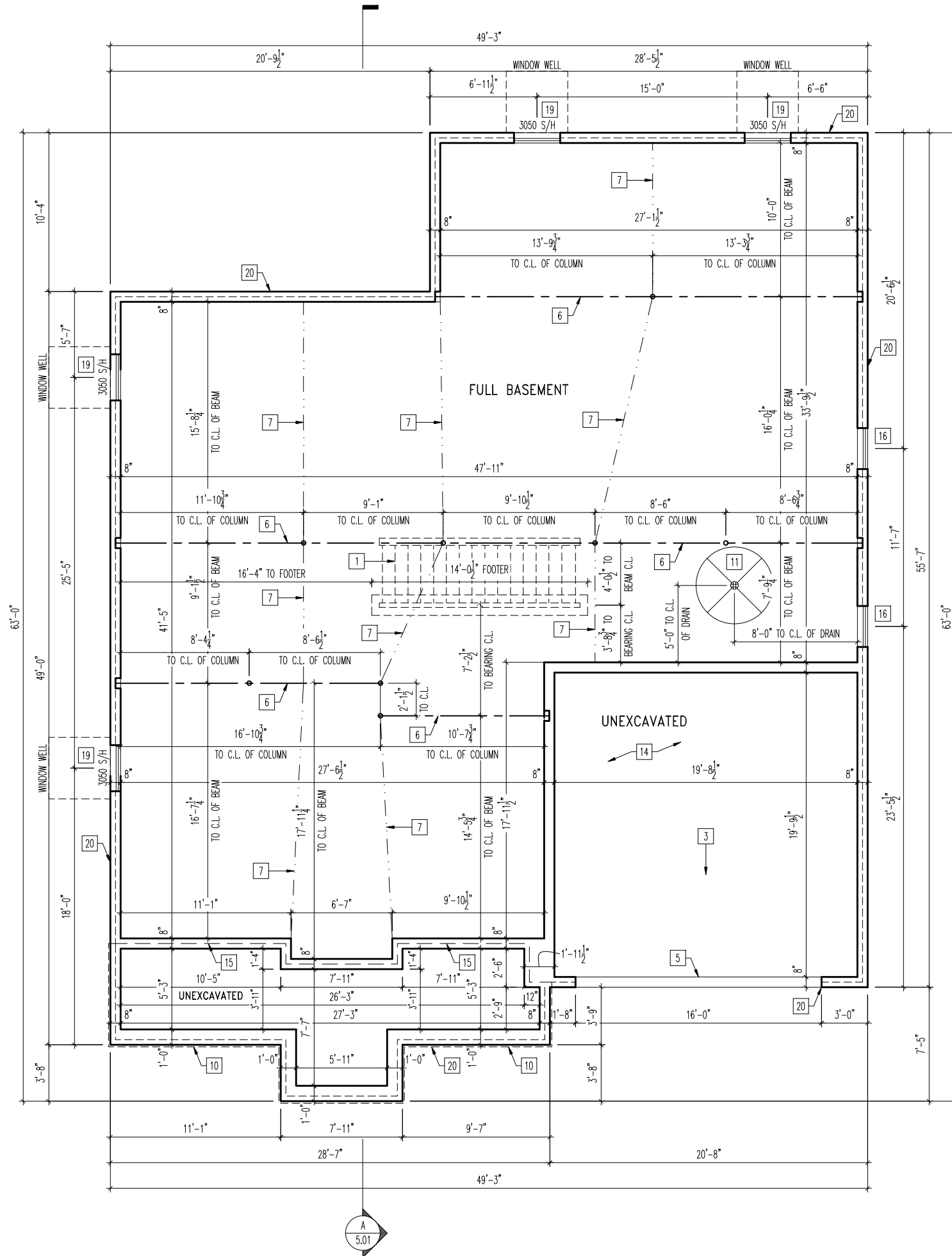


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PHONE: [440] 717-4670

Sheet Information

ON.1
General Notes
Elevation "A"

STRUCTURE WILL BE ADDED/REVISED WITH
ENGINEERING REDLINES



General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- ALL FOUNDATION WALLS 9'0" TALL AND 8" THICK UNLESS OTHERWISE NOTED.
- OVERALL FOUNDATION WALL HEIGHT MAY VARY UP TO 1".
- SEE SHEET ON.1 FOR VERTICAL FOUNDATION WALL CONTROL JOINT LOCATIONS.

Key Notes

- 1 OUTLINE OF BASEMENT STAIRS
- 2 --
- 3 GARAGE SLAB TO BE HELD A MINIMUM OF 4" BELOW TOP OF FOUNDATION AND IS TO SLOPE 1/4" PER FOOT TOWARDS GARAGE DOOR
- 4 8"W x 8"H x 4"D BEAM POCKET
- 5 CONTINUOUS FOOTING & FOUNDATION - DROP TO BE FIELD DETERMINED
- 6 SLAB CONTROL JOINT TO BE LOCATED DIRECTLY UNDER CENTERLINE OF BEAM
- 7 SLAB CONTROL JOINT
- 8 3-1/2" DIA. 11 GA. ADJ. STEEL COLUMN W/ 11.0K MIN. CAP. (ASD) ON A 36"x36"x12" PLAIN CONC. FOOTING
- 9 16"x8" THICKENED CONC. FOOTER FOR BEARING WALL SUPPORT ABOVE
- 10 OUTLINE OF CONCRETE PORCH SLAB ABOVE (1-1/2" OVERHANG TYP.)
- 11 5'0" DIAMETER AREA SLOPED TO DRAIN - 2" LOWER THAN TOP OF SLAB
- 12 3-1/2" DIA. 11 GA. ADJ. STEEL COLUMN W/ 9.0K MIN. CAP. (ASD) ON A 30"x30"x10" PLAIN CONC. FOOTING
- 13 --
- 14 REFER TO SHEET S-1A FOR GARAGE SLAB DETAILS
- 15 OUTLINE OF STUD WALL/PORCH SLAB ABOVE - RE: DETAIL B/7.02 FOR FRAMING
- 16 STD. CONCRETE WINDOW PER DIVISION SPECS. - TOP OF WINDOW HELD FLUSH WITH TOP OF FOUNDATION WALL WITH 1-3/4"x14" LVL (FLUSH) HEADER OR CONT. RIM JOIST - FIELD DETERMINE
- 17 3-1/2" DIA. 11 GA. ADJ. STEEL COLUMN W/ 6.0K MIN. CAP. (or (3)2x4's) (ASD) ON A 24"x24"x8" PLAIN CONC. FOOTING
- 18 10"W x 10"H x 4"D BEAM POCKET
- 19 BOTTOM OF WINDOW SILL @ 40" MAX. ABOVE FINISHED FLOOR WITH 12" MIN. CONCRETE HEADER
- 20 DROPPED BRICK LEDGE TO GRADE - FIELD DETERMINE
- 21 --
- 22 --
- 23 --
- 24 --
- 25 3-1/2" DIA. 11 GA. ADJ. STEEL COLUMN W/ 22.8K MIN. CAP. (ASD) ON A 48"x48"x12" CONC. FOOTING W/ #4 BARS @ 12" O.C. EA. WAY

RESIDENCE FOR:

Jason and Dena Rappaport
3769 Shannon Road
Elevate By Drees, Cleveland OH

Job Number: DOYL-0178-00	Drawing Date: 02/04/25	Coord Name: Luke R.	Coord Phone: 859 578-4212
House Name: the VANDERBURGH			Drawing Scale: 1/8" = 1'-0" Drawn By: Brian W. Series: II Plan No.: N/A

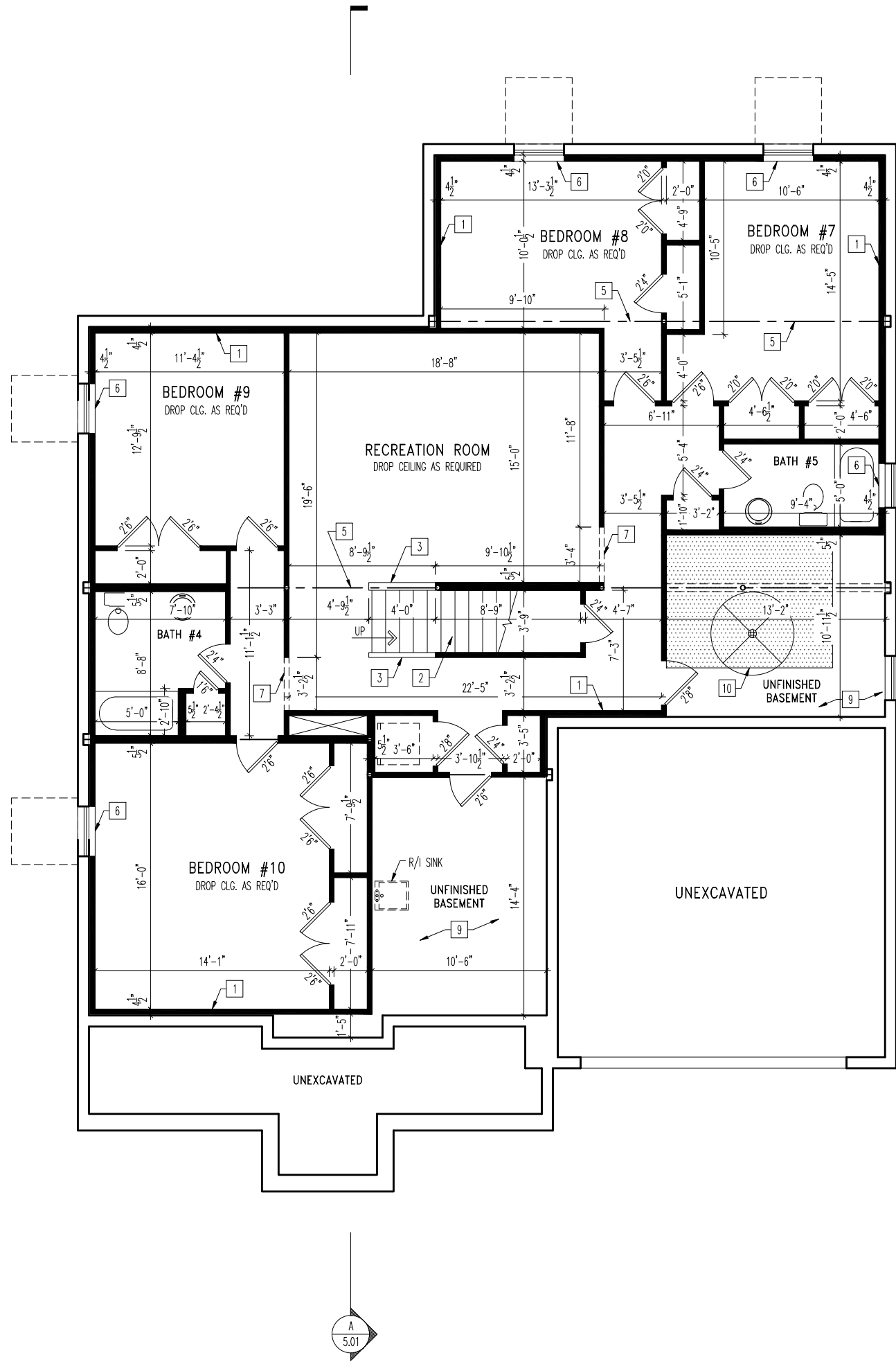


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Sheet Information

1.01

Foundation Plan
Elevation "A"



REFER TO SELECTION SHEETS FOR FLOORING
MATERIAL PRIOR TO CONSTRUCTING STAIRS
TO DETERMINE RISER HEIGHTS

General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes

- 1 2x4 STUDS HELD 1" FROM FOUNDATION WALL WITH 3-1/2" INSULATION
- 2 RE: DETAIL B/7.01 FOR STAIR FRAMING
- 3 36" HIGH WALL SLOPED WITH STAIR STRINGER
- 4 --
- 5 BOX OUT AROUND COLUMNS AND BEAMS AS REQUIRED IN FINISHED AREAS
- 6 RIPPED 1x_ FOR WOOD SILL
- 7 TOP OF OPENING AT 12" BELOW FINISHED CEILING
- 8 --
- 9 UNFINISHED BASEMENT CEILING TO BE COVERED IN 1/2" GYPSUM BOARD (WITH THE EXCEPTION OF THE 80 SQ. FT. AREA). JOINTS DO NOT NEED TO BE TAPED OR MUDDED
- 10 80 SQ. FT. MAX. AREA OF CEILING COMPLYING WITH RCO 302.13 EXCEPTION 3.1 AND 3.2 NOT REQUIRING DRYWALL. PERIMETER EDGE MUST BE FIREBLOCKED TO KEEP SEPARATE FROM THE REST OF THE FLOOR ASSEMBLY

RESIDENCE FOR:

Jason and Dena Rappaport

3769 Shannon Road

Elevate By Drees, Cleveland OH

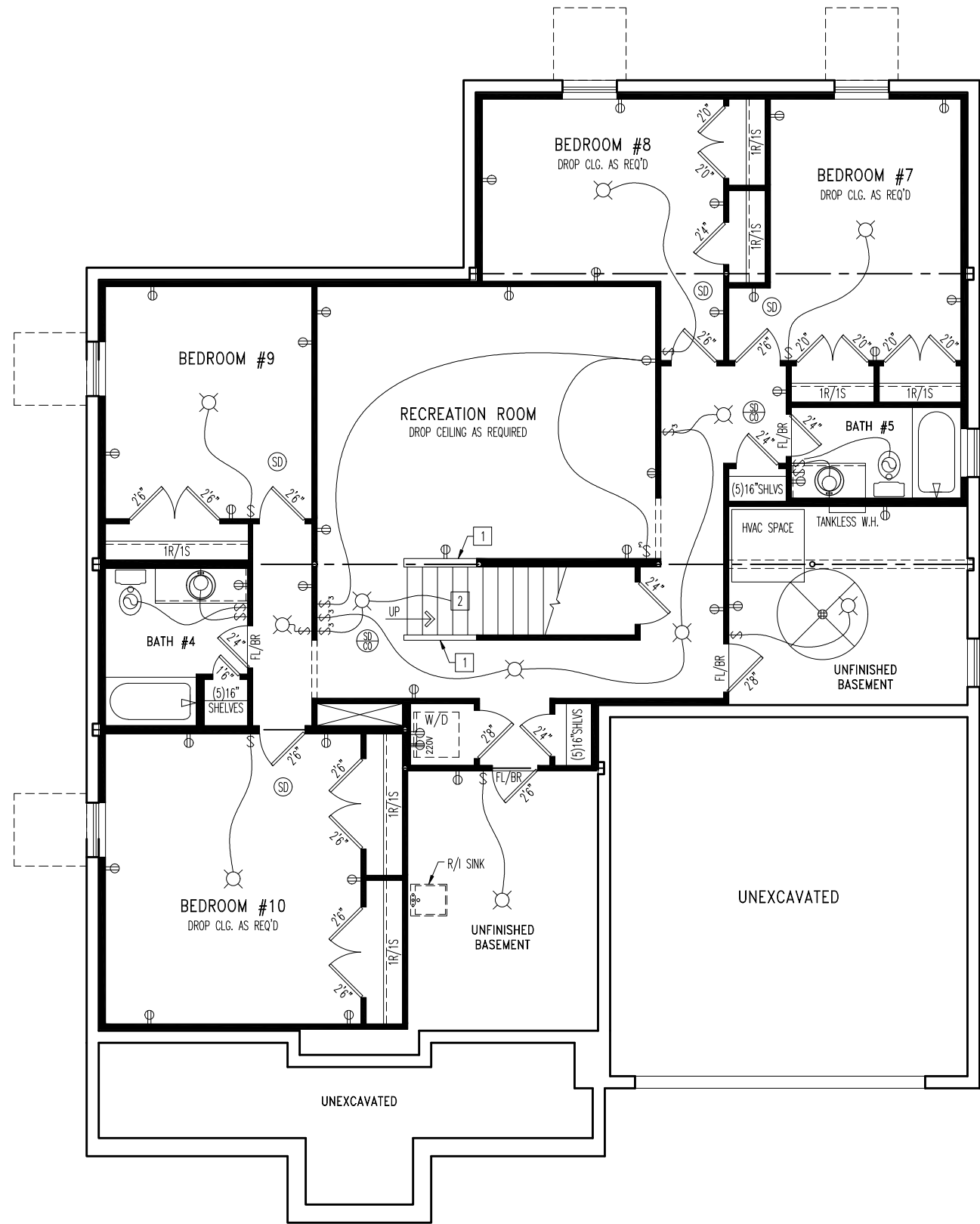
Job Number: DOYL-0178-00	Drawing Date: 02/04/25	Coord Name: Luke R.	Coord Phone: 859 578-4212
House Name: the VANDERBURGH			Drawn By: Brian W.
			Series: II
			Plan No.: N/A

Drees
HOMESSM

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Sheet Information

1.02
Finished Lower Level
Framing Plan
Elevation "A"



General Notes

— REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes

- 36" HIGH WALL WITH WOOD CAP
- TO SWITCH ABOVE
-
-
-
-
-
-
-
-

Mechanical Legend

◀ DATA JACK	○ FLUORESCENT LIGHT
⊕ WALL OUTLET	— UNDER CABINET LIGHTING
⊕ WEATHERPROOF OUTLET	⊕ CLG. MOUNTED LIGHT FIXT.
⊕ 220 OUTLET	○ WALL MOUNTED LIGHT FIXT.
⊕ GROUND FAULT CIRCUIT INTERRUPT OUTLET	○ SURFACE MOUNT DBC LIGHT OR RECESSED CEILING LIGHT, PER SPECS.
⊕ FLOOR OUTLET	⊕ DOUBLE SPOTLIGHT FIXT.
⊕ COUNTER POP-UP OUTLET	⊕ DIRECTIONAL CAN LIGHT
⊕ CABLE TELEVISION JACK	⊕ PIN LIGHT
⊕ SINGLE POLE SWITCH	⊕ WALL SCONCE @ 5'-6" A.F.F.
⊕ 3-WAY SWITCH	⊕ STAIR LIGHT
⊕ 4-WAY SWITCH	⊕ CLG. MTD. EXHAUST FAN
⊕ SMOKE DETECTOR	⊕ WALL MTD. EXHAUST FAN
⊕ SMOKE DETECTOR/CO DETECTOR COMBINATION	⊕ SHOWER HEAD
⊕ BLOCK, MOUNT, & SWITCH FOR FUTURE FAN/LIGHT COMBINATION (CENTER, UNLESS OTHERWISE NOTED)	⊕ HOSE BIB
⊕ EXHAUST FAN AND LIGHT COMBINATION	⊕ GAS HOOK UP
	⊕ FLOOR DRAIN

RESIDENCE FOR:

Jason and Dena Rappaport

3769 Shannon Road

Elevate By Drees, Cleveland OH

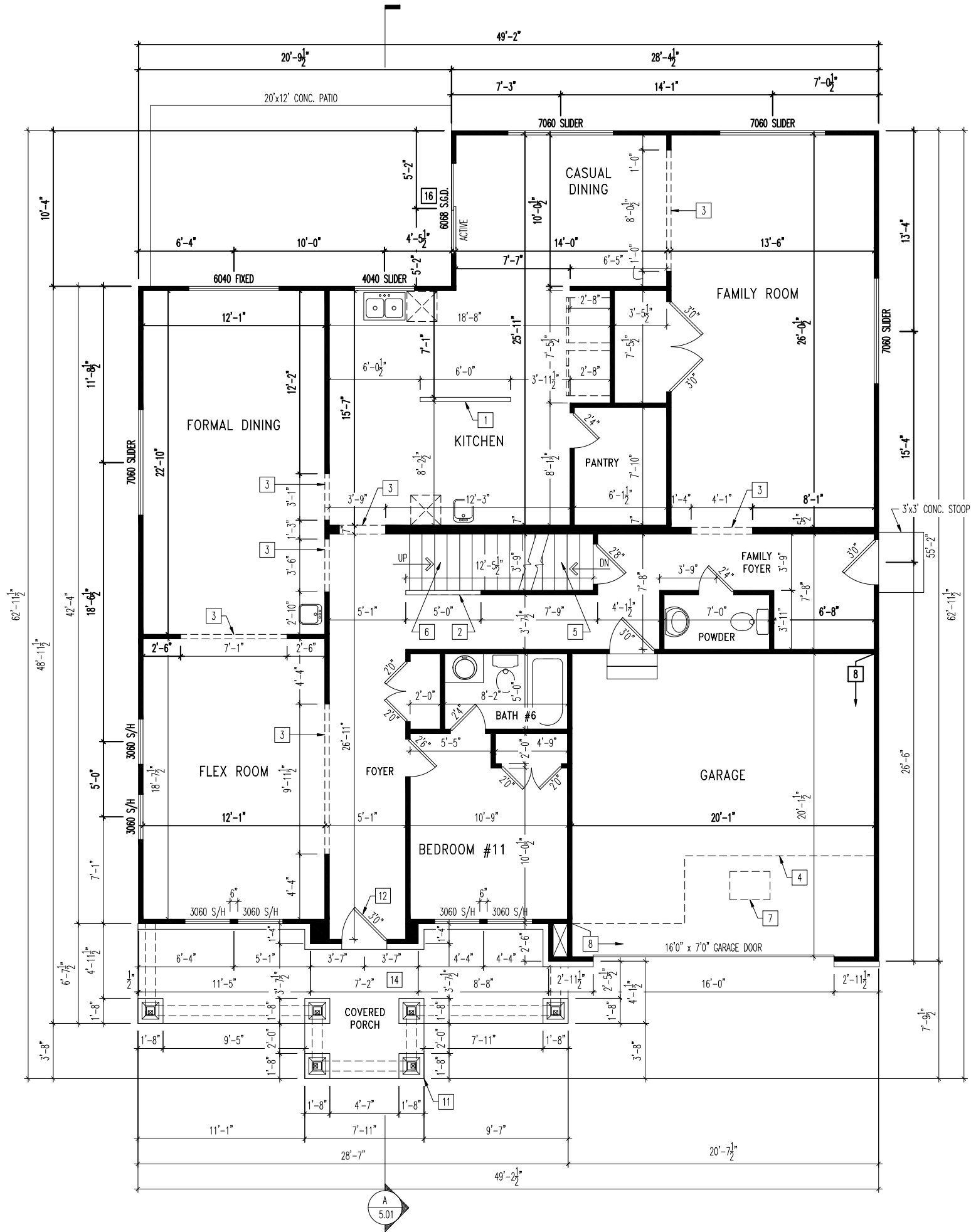
Job Number: DOYL-0178-00	Drawing Date: 02/04/25	Coord Name: Luke R.	Coord Phone: 859 578-4212
House Name: the VANDERBURGH			Drawn By: Brian W.
			Series: II
			Plan No.: N/A



Sheet Information

1.03

Finished Lower Level
Mechanical Plan
Elevation "A"



REFER TO SELECTION SHEETS FOR FLOORING
MATERIAL PRIOR TO CONSTRUCTING STAIRS
TO DETERMINE RISER HEIGHTS

General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- ALL FIRST FLOOR CEILINGS TO BE 9'1" ABOVE SUBFLOOR UNLESS OTHERWISE NOTED.
- FRAME TOP OF ALL WINDOWS @ 1'0-1/4" BELOW TOP PLATE UNLESS OTHERWISE NOTED.
- ALL DROPPED INTERIOR HEADERS TO BE DROPPED 1'0" FROM CEILING UNLESS OTHERWISE NOTED.

Key Notes

- 1 34-1/2" HIGH WALL
- 2 36" HIGH WALL SLOPED WITH STAIR STRINGER
- 3 TOP OF OPENING AT HEIGHT SPECIFIED IN GENERAL NOTES THIS SHEET
- 4 LINE OF SECOND FLOOR ABOVE
- 5 RE: DETAIL B/7.01 FOR BASEMENT STAIR FRAMING
- 6 RE: DETAIL C/7.01 FOR SECOND FLOOR STAIR FRAMING
- 7 22-1/2" x 32" ATTIC ACCESS
- 8 FRAME GARAGE WALLS AT 10'5-1/4" WITH 2x4's AT 12" O.C. ABOVE TOP OF FOUNDATION
- 9 --
- 10 --
- 11 12"x12" TAPERED BOX COLUMN WITH MASONRY BASE -- RE: DETAIL A/7.02 FOR FRAMING (TYP. OF 6)
- 12 12" TRANSOM ABOVE DOOR (MULLED)
- 13 --
- 14 CARPENTER TO DROP ELECTRICAL WIRE THROUGH PORCH CEILING FOR LIGHTS
- 15 --
- 16 12" TRANSOM ABOVE DOOR (MULLED)
- 17 --
- 18 --
- 19 --
- 20 --

RESIDENCE FOR:

Jason and Dena Rappaport
3769 Shannon Road
Elevate By Drees, Cleveland OH

Job Number: DOYL-0178-00	Drawing Date: 02/04/25	Coord Name: Luke R.	Coord Phone: 859 578-4212
House Name:			Drawn By: Brian W.
the VANDERBURGH			Series: II
			Plan No.: N/A

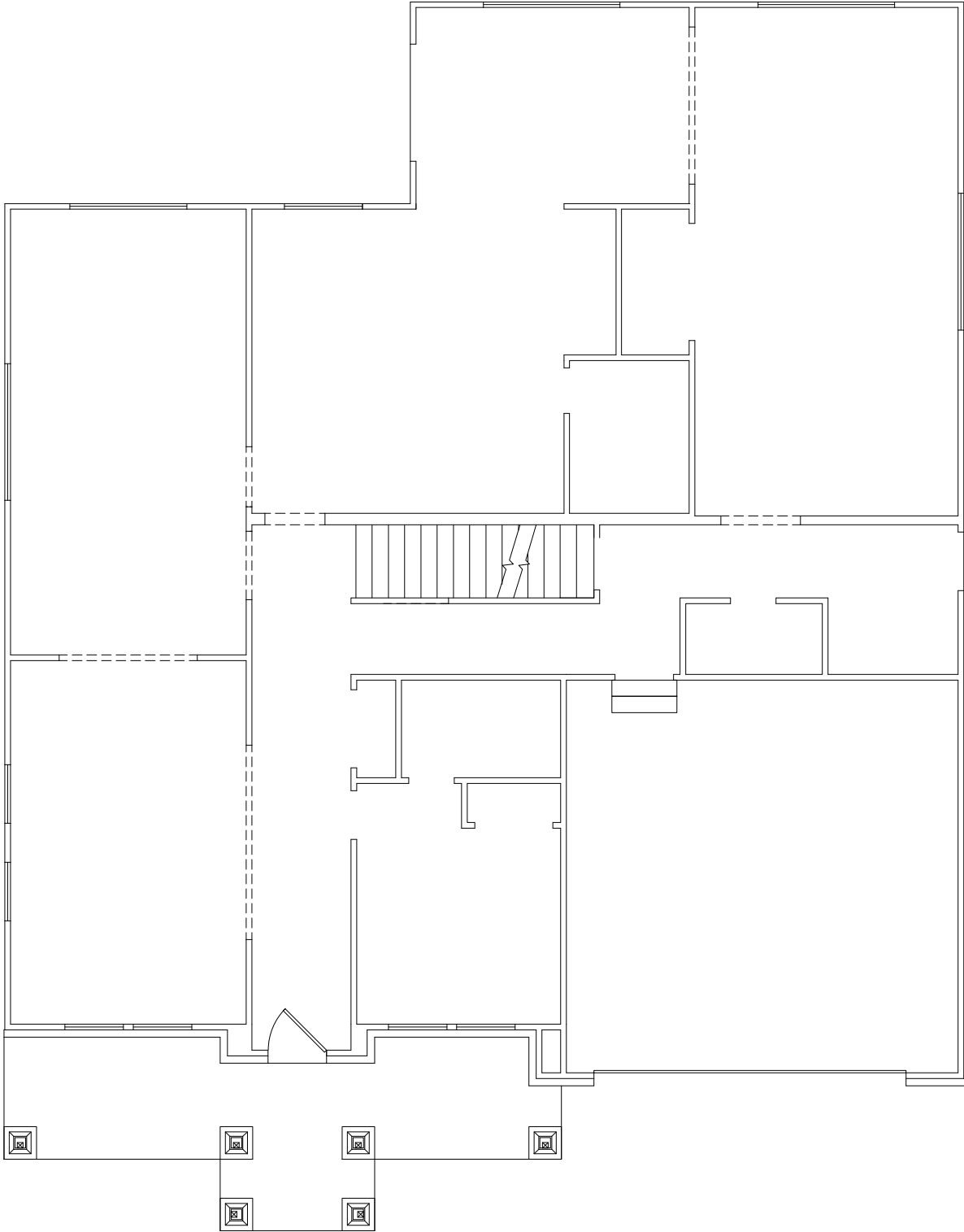
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Sheet Information

2.01F
First Floor Framing Plan
Elevation "A"

STRUCTURE WILL BE ADDED/REVISED WITH
ENGINEERING REDLINES



General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes

- A --
- B --
- C --
- D --
- E --
- F --
- G --
- H --
- K --
- L --

RESIDENCE FOR:

Jason and Dena Rappaport
3769 Shannon Road
Elevate By Drees, Cleveland OH

Job Number: DOYL-0178-00	Drawing Date: 02/04/25	Coord Name: Luke R.	Coord Phone: 859 578-4212
House Name:			Drawn By: Brian W.
the VANDERBURGH			Series: II
			Plan No.: N/A

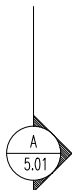
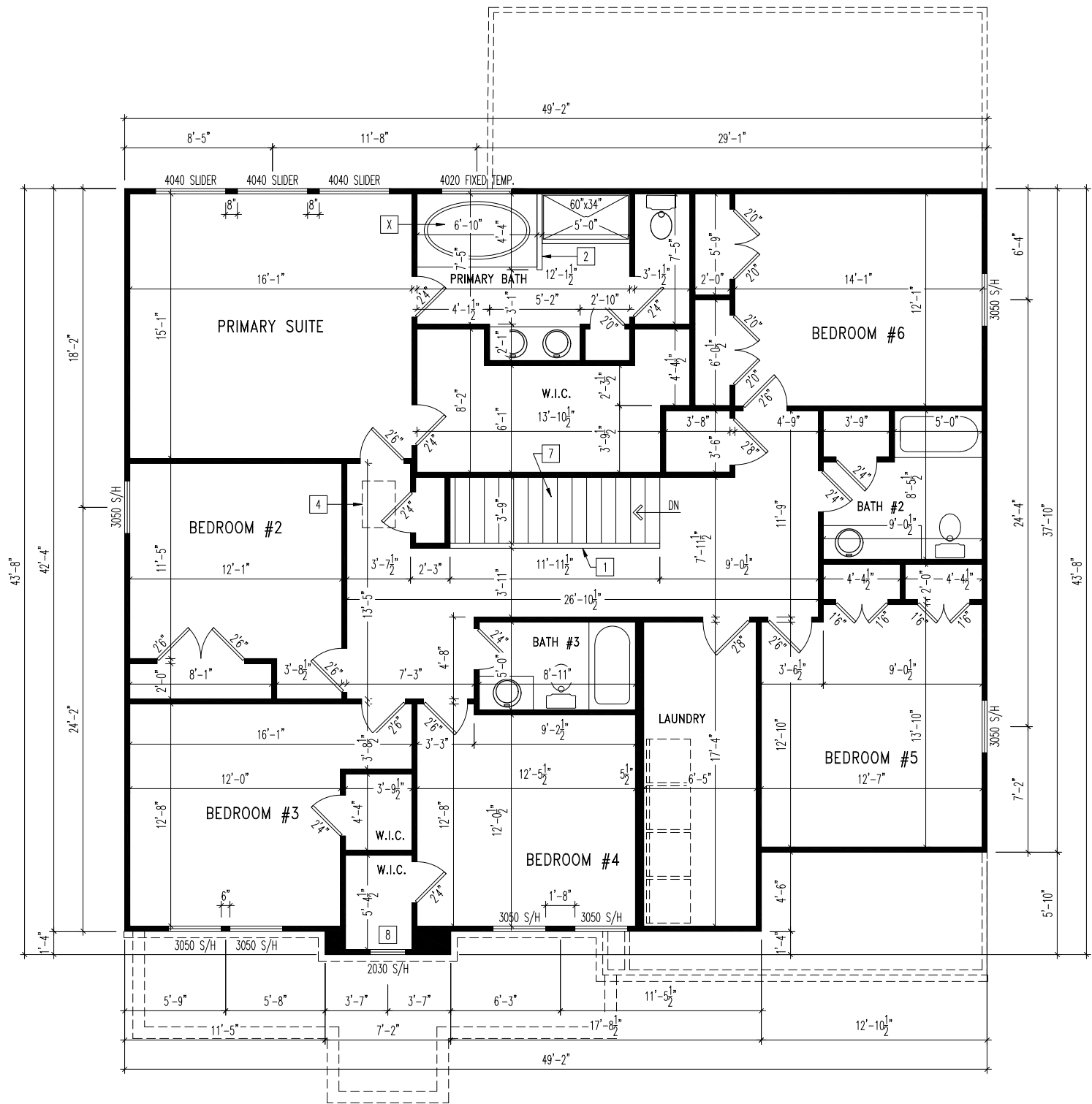


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Sheet Information

2.01S
First Floor Structural Plan
Elevation "A"

REFER TO SELECTION SHEETS FOR FLOORING
MATERIAL PRIOR TO CONSTRUCTING STAIRS
TO DETERMINE RISER HEIGHTS



General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- ALL SECOND FLOOR CEILINGS TO BE 8"1" ABOVE SUBFLOOR UNLESS OTHERWISE NOTED.
- FRAME TOP OF ALL WINDOWS @ 1"0-1/4" DOWN FROM CEILING UNLESS OTHERWISE NOTED.
- ALL DROPPED INTERIOR HEADERS TO BE DROPPED 1"0" FROM CEILING UNLESS OTHERWISE NOTED.

Key Notes

- 1 36" HIGH WALL
- 2 42" HIGH WALL
- 3 --
- 4 22-1/2" x 32" ATTIC ACCESS
- 5 --
- 6 --
- 7 RE: DETAIL C/7.01 FOR STAIR FRAMING
- 8 TOP OF WINDOW @ 1"6-1/4" BELOW TOP PLATE
- 9 --
- 10 --

RESIDENCE FOR:

Jason and Dena Rappaport

3769 Shannon Road

Elevate By Drees, Cleveland OH

Job Number: DOYL-0178-00	Drawing Date: 02/04/25	Coord Name: Luke R.	Coord Phone: 859 578-4212
-----------------------------	---------------------------	------------------------	------------------------------

House Name:	Drawing Scale: 1/8" = 1'-0"	Drawn By: Brian W.
-------------	-----------------------------	-----------------------

the VANDERBURGH

Series:
II

Plan No.:
N/A



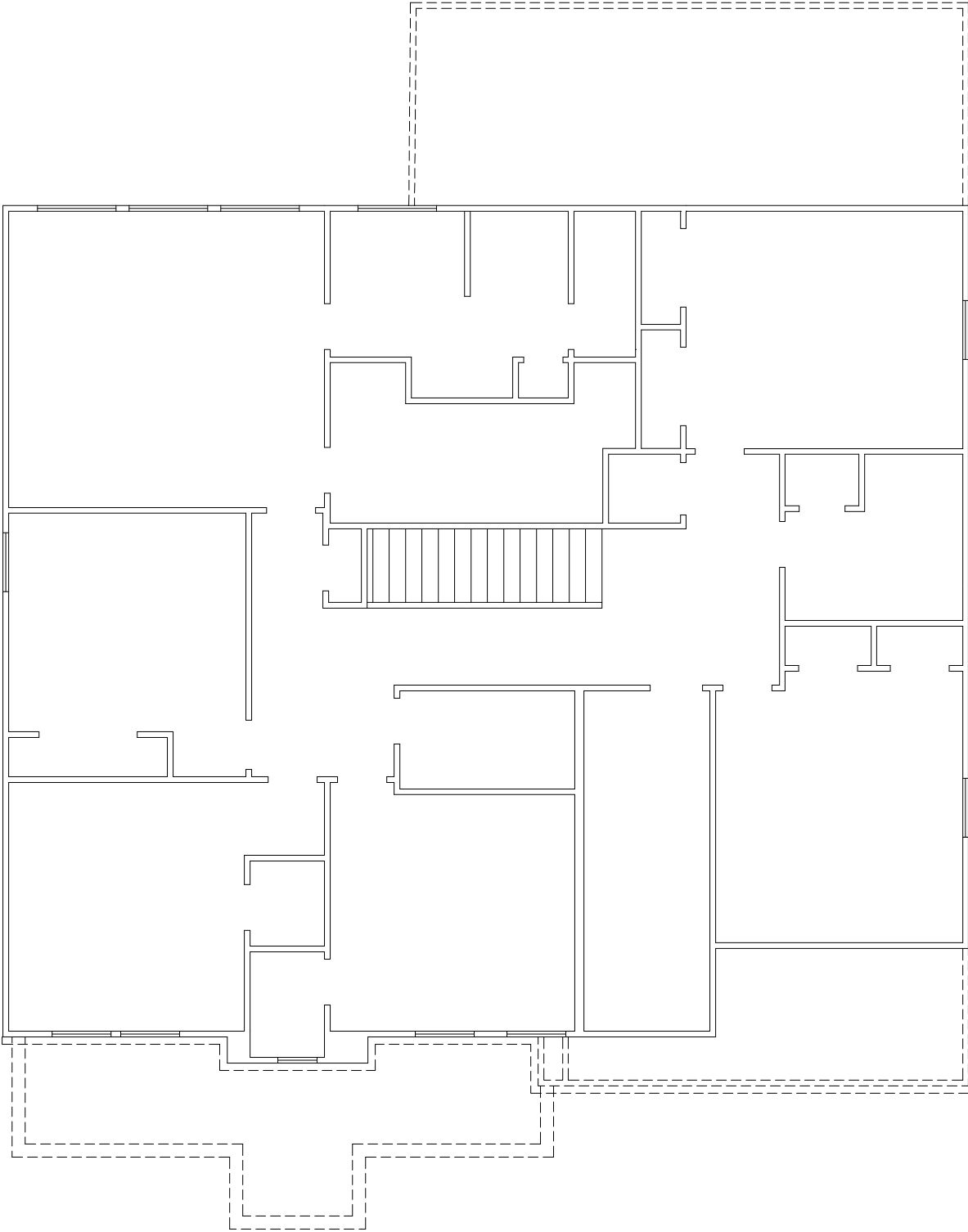
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Sheet Information

2.02F

Second Floor Framing Plan
Elevation "A"

STRUCTURE WILL BE ADDED/REVISED WITH
ENGINEERING REDLINES



General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes

A

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B

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C

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D

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H

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K

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RESIDENCE FOR:

Jason and Dena Rappaport

3769 Shannon Road

Elevate By Drees, Cleveland OH

Job Number: DOYL-0178-00	Drawing Date: 02/04/25	Coord Name: Luke R.	Coord Phone: 859 578-4212
House Name:			Drawing Scale: 1/8" = 1'-0"
the VANDERBURGH			Drawn By: Brian W.
			Series: II
			Plan No.: N/A

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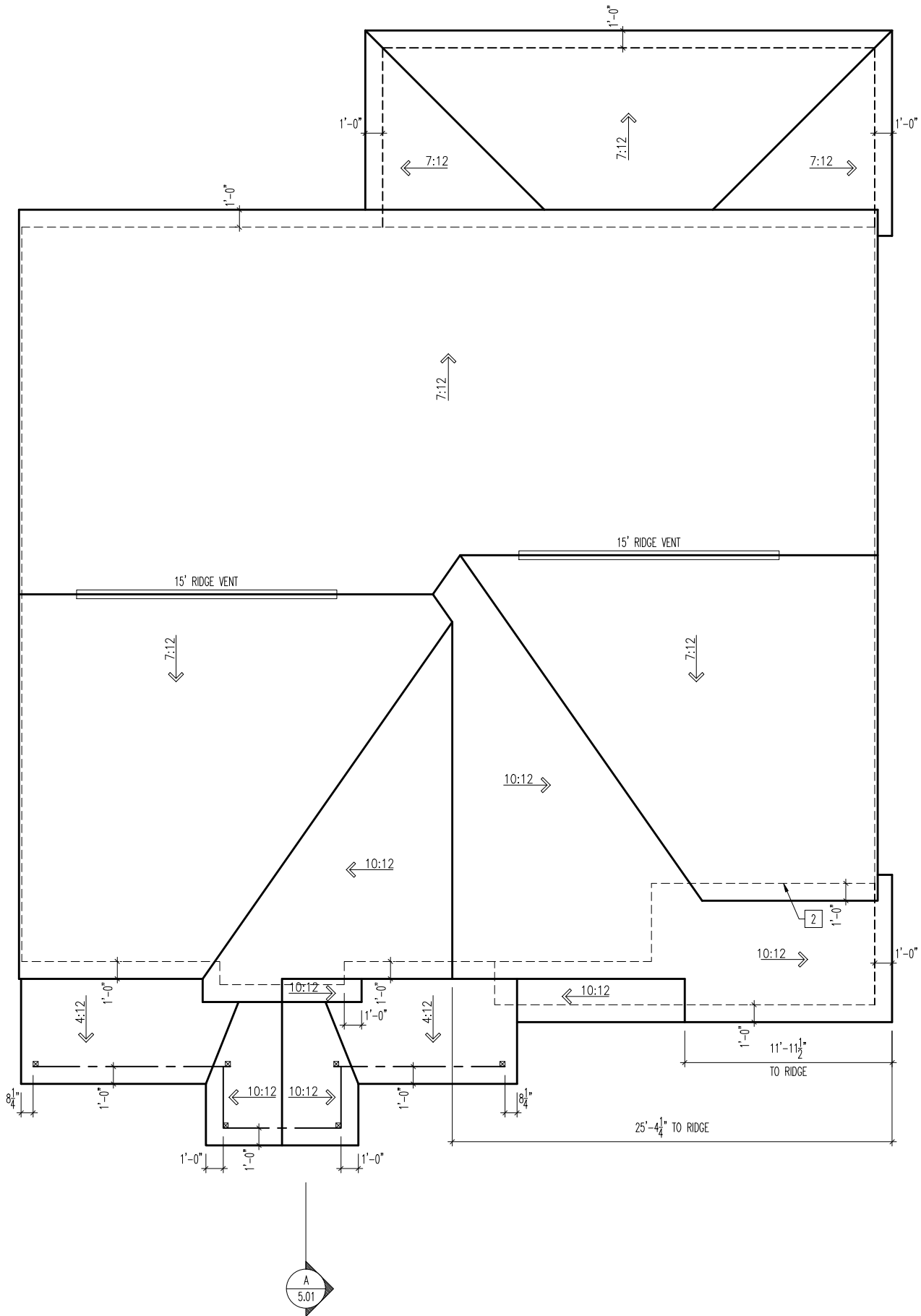
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Sheet Information

2.02S

Second Floor Structural Plan
Elevation "A"

STRUCTURE WILL BE ADDED/REVISED WITH
ENGINEERING REDLINES



TRUSS MANUFACTURER TO VERIFY THE FOLLOWING:
(REFER TO SHEETS 2.01F AND/OR 2.02F)
1) DO NOT LOCATE ROOF TRUSSES ABOVE PARALLEL PLUMBING WALLS
OR KITCHEN HOOD WALLS
2) DO NOT LOCATE ROOF TRUSSES ABOVE HVAC CHASES (OR LEAVE
A MIN. 22-1/2" WIDE CLEAR SPACE OVER CHASE)

HEEL CUT STANDARDS			
		OVERHANG	
		1'-0"	2'-0"
ROOF PITCH	4:12	3-3/4"	7-3/4"
	5:12	4-3/4"	9-3/4"
	6:12	5-3/4"	11-3/4"
	7:12	6-3/4"	13-3/4"
	8:12	7-3/4"	N/A
	9:12	8-3/4"	N/A
	10:12	9-3/4"	N/A
	12:12	11-3/4"	N/A
	14:12	13-3/4"	N/A

General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes

- 1

BEAM BELOW - RE: SHEET 2.01 STRUCTURE FOR SIZE
- 2

PROVIDE LEDGER BOARD TO ACCEPT ROOF SHEATHING
- 3

VALLEY TRUSS OVERFRAMING @ 24" O.C.
- 4

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- 5

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- 6

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- 7

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- 9

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- 10

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RESIDENCE FOR:

Jason and Dena Rappaport
3769 Shannon Road
Elevate By Drees, Cleveland OH

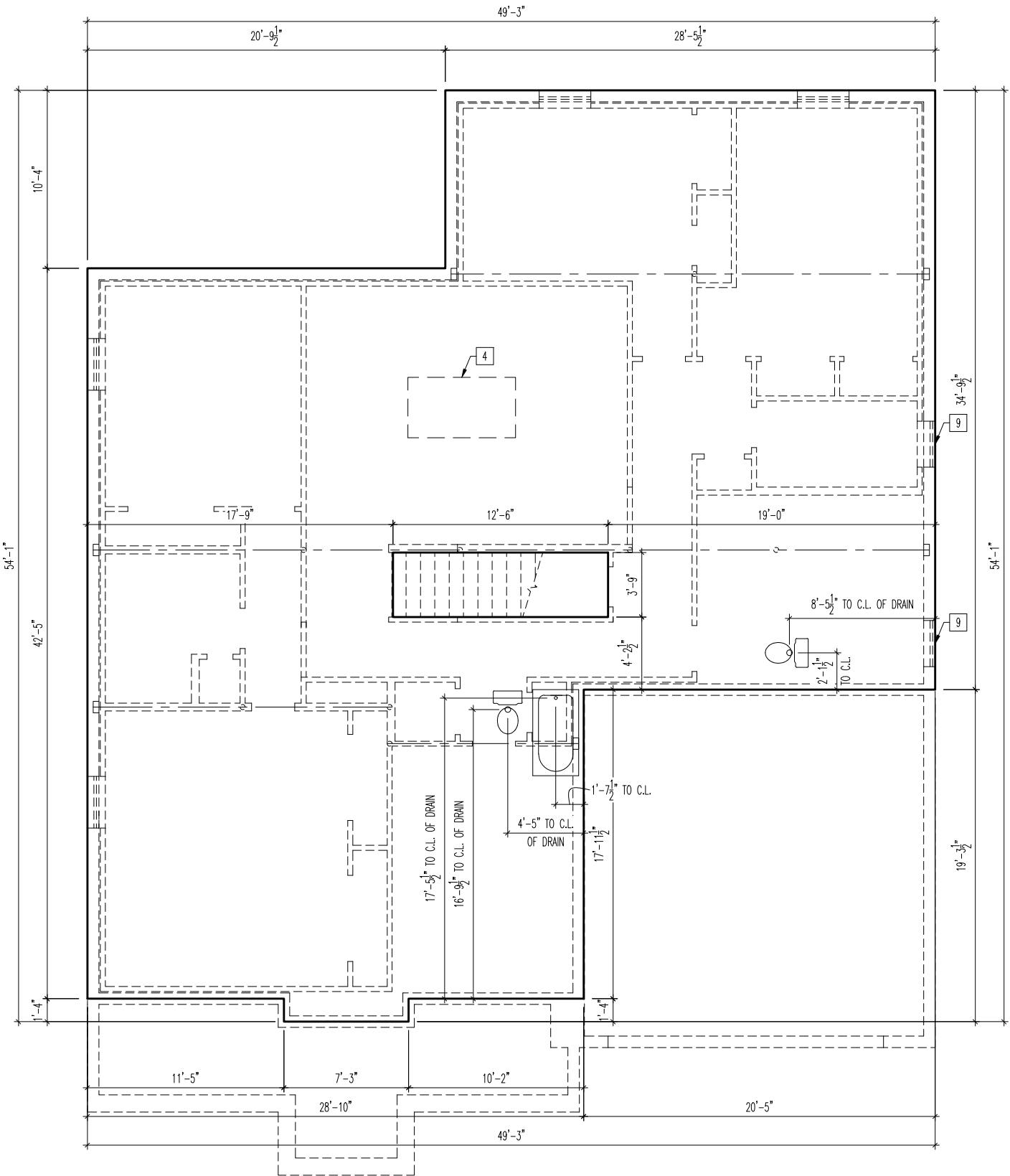
Job Number: DOYL-0178-00	Drawing Date: 02/04/25	Coord Name: Luke R.	Coord Phone: 859 578-4212
House Name: the VANDERBURGH			Drawn By: Brian W.
			Series: II
			Plan No.: N/A

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Sheet Information

2.04
Roof Plan
Elevation "A"

STRUCTURE WILL BE ADDED/REVISED WITH
ENGINEERING REDLINES



General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- FLOOR SYSTEM TO BE 14" I-JOISTS AT 19.2" O.C., UNLESS OTHERWISE NOTED.
- ADJUST SUBFLOOR LAYOUT FOR PLUMBING AS NEEDED.
- JOISTS ARE NOT TO BE PLACED DIRECTLY OVER INTERIOR PARALLEL WALLS. (TO PREVENT UNEVEN FLOOR DEFLECTION FROM OCCURRING)

Key Notes

1

BEAM BELOW - RE: SHEET 1.01 FOR SIZE

2

FLUSH BEAM - RE: SHEET 1.01 FOR SIZE

3

BEARING WALL BELOW

4

DOUBLE EVERY OTHER FLOOR JOISTS UNDER KITCHEN ISLAND (MIN. 2 INSTANCES)

5

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6

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7

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8

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9

STD. BASEMENT WINDOW PER DIVISION SPECS. - TOP OF WINDOW HELD FLUSH WITH TOP OF FOUNDATION WALL WITH 1-3/4"x14" LVL (FLUSH) HEADER OR CONT. RIM JOIST - FIELD DETERMINE

10

80 SQ. FT. MAX. AREA OF CEILING COMPLYING WITH RCO 302.13 EXCEPTION 3.1 AND 3.2 NOT REQUIRING DRYWALL. PERIMETER EDGE MUST BE FIREBLOCKED TO KEEP SEPARATE FROM THE REST OF THE FLOOR ASSEMBLY

RESIDENCE FOR:

Jason and Dena Rappaport

3769 Shannon Road

Elevate By Drees, Cleveland OH

Job Number:	Drawing Date:	Coord Name:	Coord Phone:
DOYL-0178-00	02/04/25	Luke R.	859 578-4212
House Name:			Drawing Scale: 1/8" = 1'-0"
the VANDERBURGH			Drawn By:
			Brian W.
			Series:
			II
			Plan No.:
			N/A

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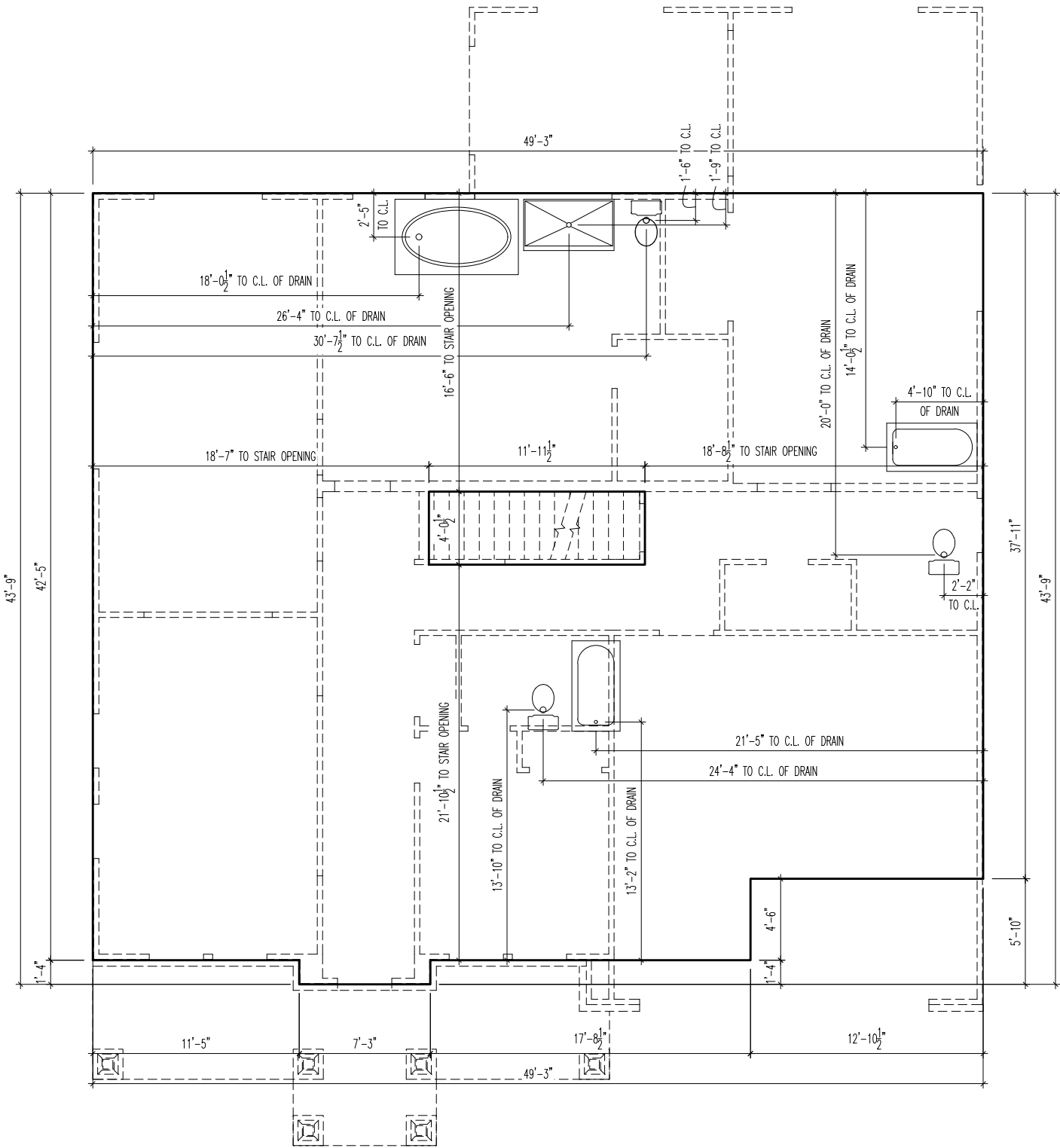
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3.01

First Floor Subfloor Plan

Elevation "A"

STRUCTURE WILL BE ADDED/REVISED WITH
ENGINEERING REDLINES



General Notes

Key Notes

1

BEAM BELOW - RE: SHEET 2.01S FOR SIZE

2

FLUSH BEAM - RE: SHEET 2.01S FOR SIZE

3

BEARING WALL BELOW

4

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5

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RESIDENCE FOR:

Jason and Dena Rappaport

3769 Shannon Road

Elevate By Drees, Cleveland OH

Job Number: DOYL-0178-00	Drawing Date: 02/04/25	Coord Name: Luke R.	Coord Phone: 859 578-4212
House Name:			Drawing Scale: 1/8" = 1'-0"
the VANDERBURGH			Drawn By: Brian W.
			Series: II
			Plan No.: N/A

Drees

HOMES

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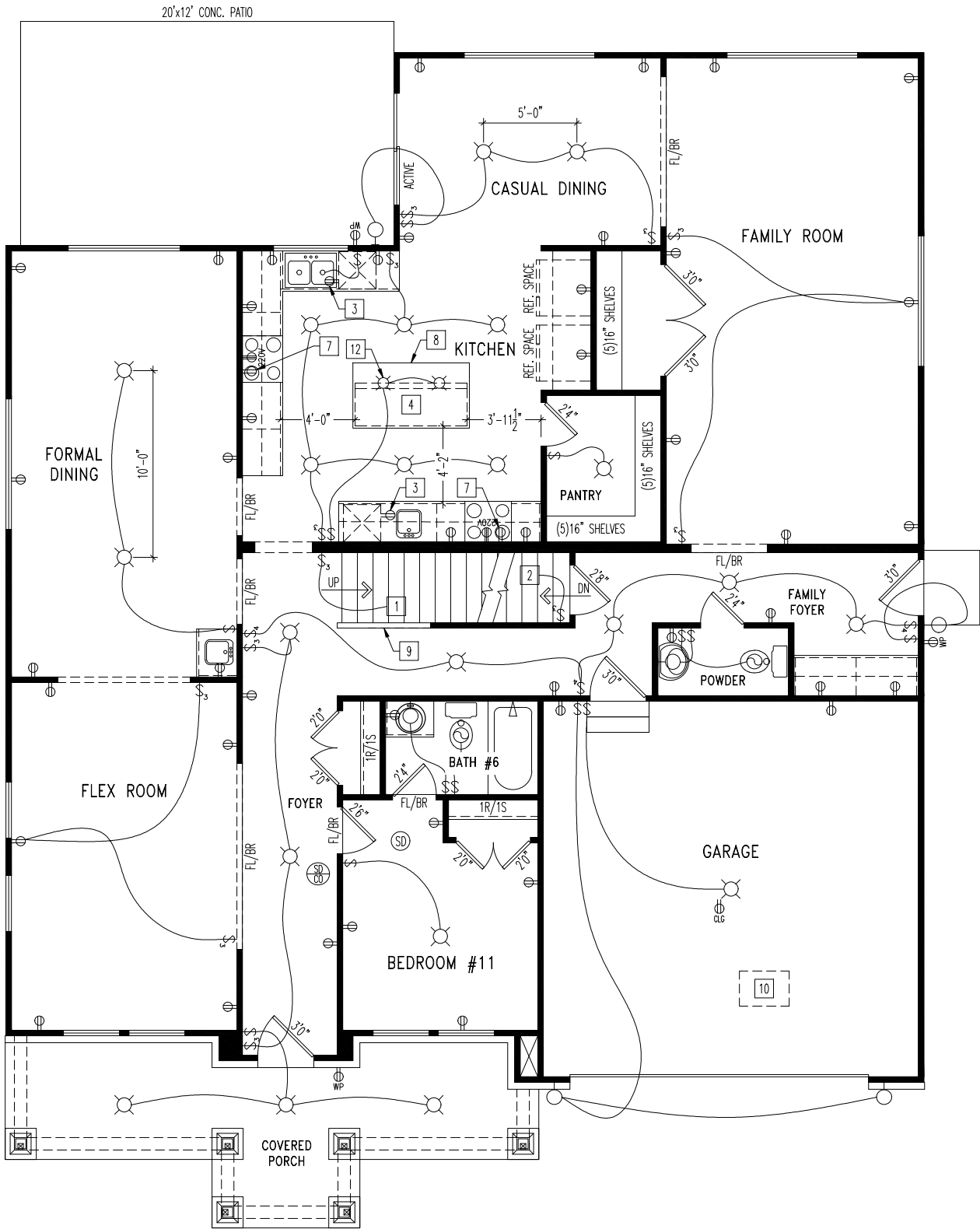
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Sheet Information

3.02

Second Floor Subfloor Plan

Elevation "A"



General Notes

-- REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes

- | | | | |
|----|--|----|-----------------------------------|
| 1 | TO SWITCH OR LIGHT ABOVE | 11 | -- |
| 2 | TO SWITCH OR LIGHT BELOW | 12 | (2)PENDENT LIGHTS R/I WITH SWITCH |
| 3 | OUTLET IN SINK CABINET FOR DISHWASHER DISCONNECT | 13 | -- |
| 4 | REFER TO CABINET SHOP DRAWINGS FOR CABINET AND APPLIANCE LAYOUT | 14 | -- |
| 5 | -- | 15 | -- |
| 6 | -- | 16 | -- |
| 7 | OUTLET HELD HIGH FOR HOOD/MICRO - VENTED TO EXTERIOR | 17 | -- |
| 8 | KITCHEN ISLAND RE: DETAIL E/7.01 FOR FRAMING/COUNTERTOP DIMENSIONS | 18 | -- |
| 9 | HALF WALL WITH WOOD CAP | 19 | -- |
| 10 | 22-1/2"x32" ATTIC ACCESS | 20 | -- |

Mechanical Legend

◀ DATA JACK	○ FLUORESCENT LIGHT
⊕ WALL OUTLET	▬ UNDER CABINET LIGHTING
⊕ WEATHERPROOF OUTLET	⊗ CLG. MOUNTED LIGHT FIXT.
⊕ 220 OUTLET	○ WALL MOUNTED LIGHT FIXT.
⊕ GROUND FAULT CIRCUIT INTERRUPT OUTLET	○ SURFACE MOUNT DISC LIGHT OR RECESSED CEILING LIGHT, PER SPECS.
⊕ FLOOR OUTLET	⊗ DOUBLE SPOTLIGHT FIXT.
⊕ COUNTER POP-UP OUTLET	⊗ DIRECTIONAL CAN LIGHT
⊕ CABLE TELEVISION JACK	⊗ PIN LIGHT
⊕ SINGLE POLE SWITCH	⊗ WALL SCORCE @ 5'-6" A.F.F.
⊕ 3-WAY SWITCH	⊗ STAIR LIGHT
⊕ 4-WAY SWITCH	⊗ CLG. MTD. EXHAUST FAN
⊕ SMOKE DETECTOR	⊗ WALL MTD. EXHAUST FAN
⊕ SMOKE DETECTOR/ CO DETECTOR COMBINATION	⊗ SHOWER HEAD
⊕ BLOCK, MOUNT, & SWITCH FOR FUTURE FAN/LIGHT COMBINATION (CENTER, UNLESS OTHERWISE NOTED)	⊕ HOSE BIB
⊕ EXHAUST FAN AND LIGHT COMBINATION	⊕ GAS
	⊕ GAS HOOK UP
	⊕ FLOOR DRAIN

RESIDENCE FOR:

Jason and Dena Rappaport

3769 Shannon Road

Elevate By Drees, Cleveland OH

Job Number: DOYL-0178-00	Drawing Date: 02/04/25	Coord Name: Luke R.	Coord Phone: 859 578-4212
House Name:			Drawing Scale: 1/8" = 1'-0"
the VANDERBURGH			Drawn By: Brian W.
			Series: II
			Plan No.: N/A

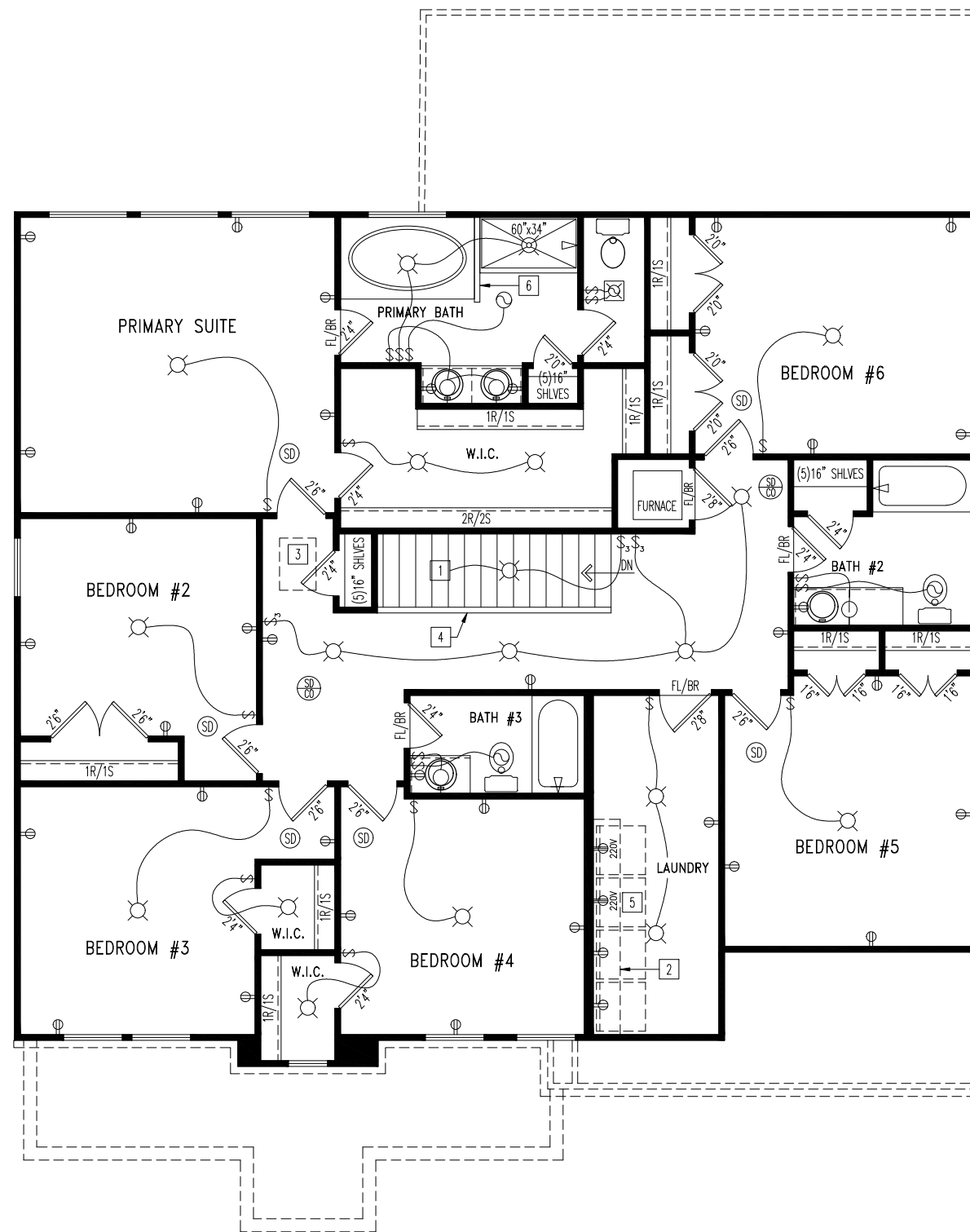
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Sheet Information

4.01

First Floor Mechanical Plan
Elevation "A"



General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes

- 1 TO LIGHT OR SWITCH BELOW
- 2 16" DEEP SHELF @ 5'7" A.F.F.
- 3 22-1/2" x 32" ATTIC ACCESS
- 4 HALF WALL WITH WOOD CAP
- 5 WASHERS TO LEFT OF DRYERS
- 6 HALF WALL WITH TILE
- 7 --
- 8 --
- 9 --
- 10 --

RESIDENCE FOR:

Jason and Dena Rappaport

3769 Shannon Road

Elevate By Drees, Cleveland OH

Job Number:
DOYL-0178-00

Drawing Date:
02/04/25

Coord Name:	Luke R.
-------------	---------

Coord Phone:
859 578-4212

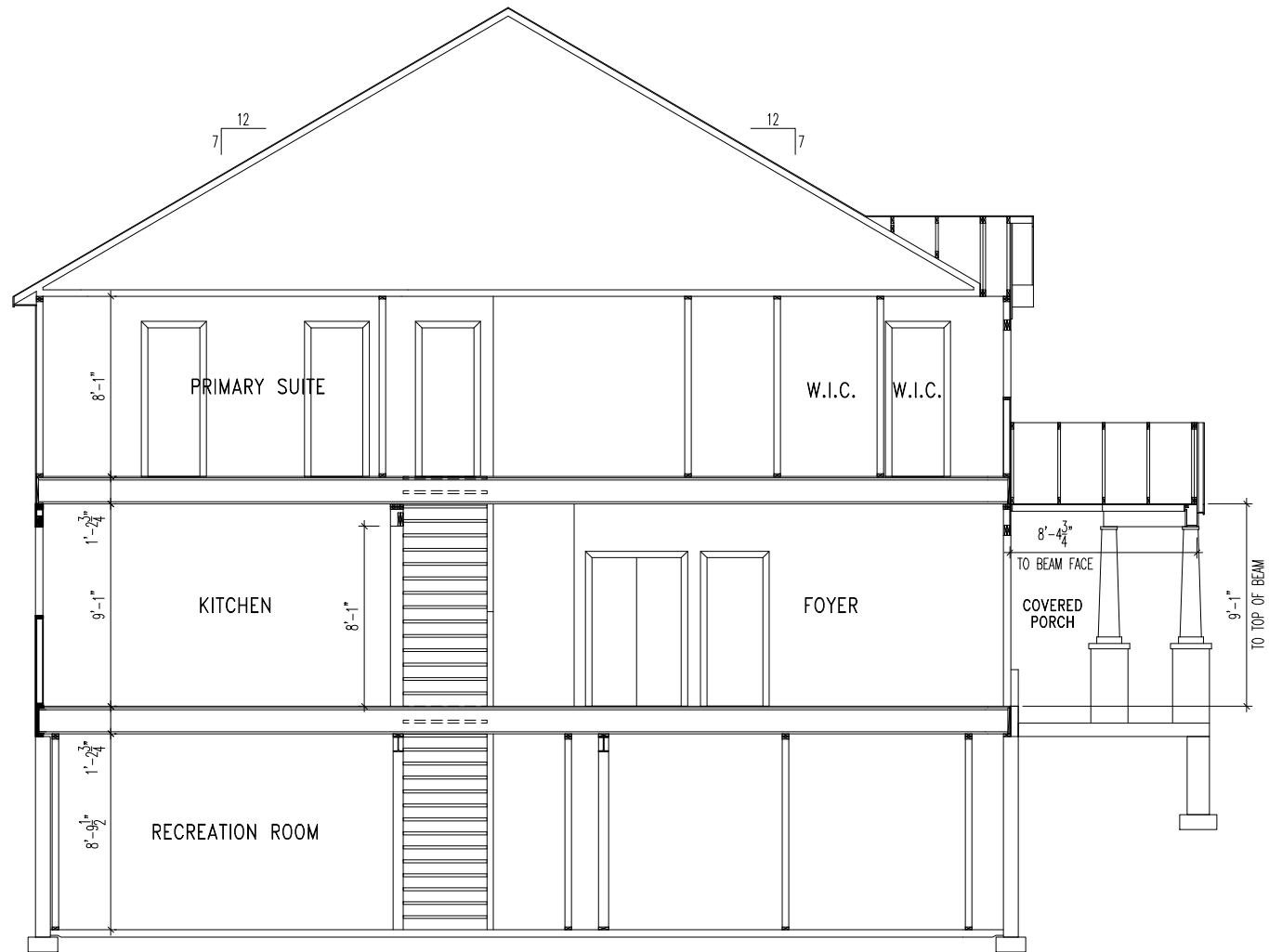
House Name:	Drawing Scale: 1/8" = 1'-0"
-------------	-----------------------------

Drawn By: Brian W.

Series: II

Plan No.:	N/A
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BUILDING SECTION
A
5.01
SCALE: 1/8" = 1'-0"

General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes

- 1 --
- 2 --
- 3 --
- 4 --
- 5 --
- 6 --
- 7 --
- 8 --
- 9 --
- 10 --

RESIDENCE FOR:

Jason and Dena Rappaport

3769 Shannon Road

Elevate By Drees, Cleveland OH

Job Number: DOYL-0178-00	Drawing Date: 02/04/25	Coord Name: Luke R.	Coord Phone: 859 578-4212
House Name:			Drawing Scale: 1/8" = 1'-0"
the VANDERBURGH			Drawn By: Brian W.
			Series: II
			Plan No.: N/A



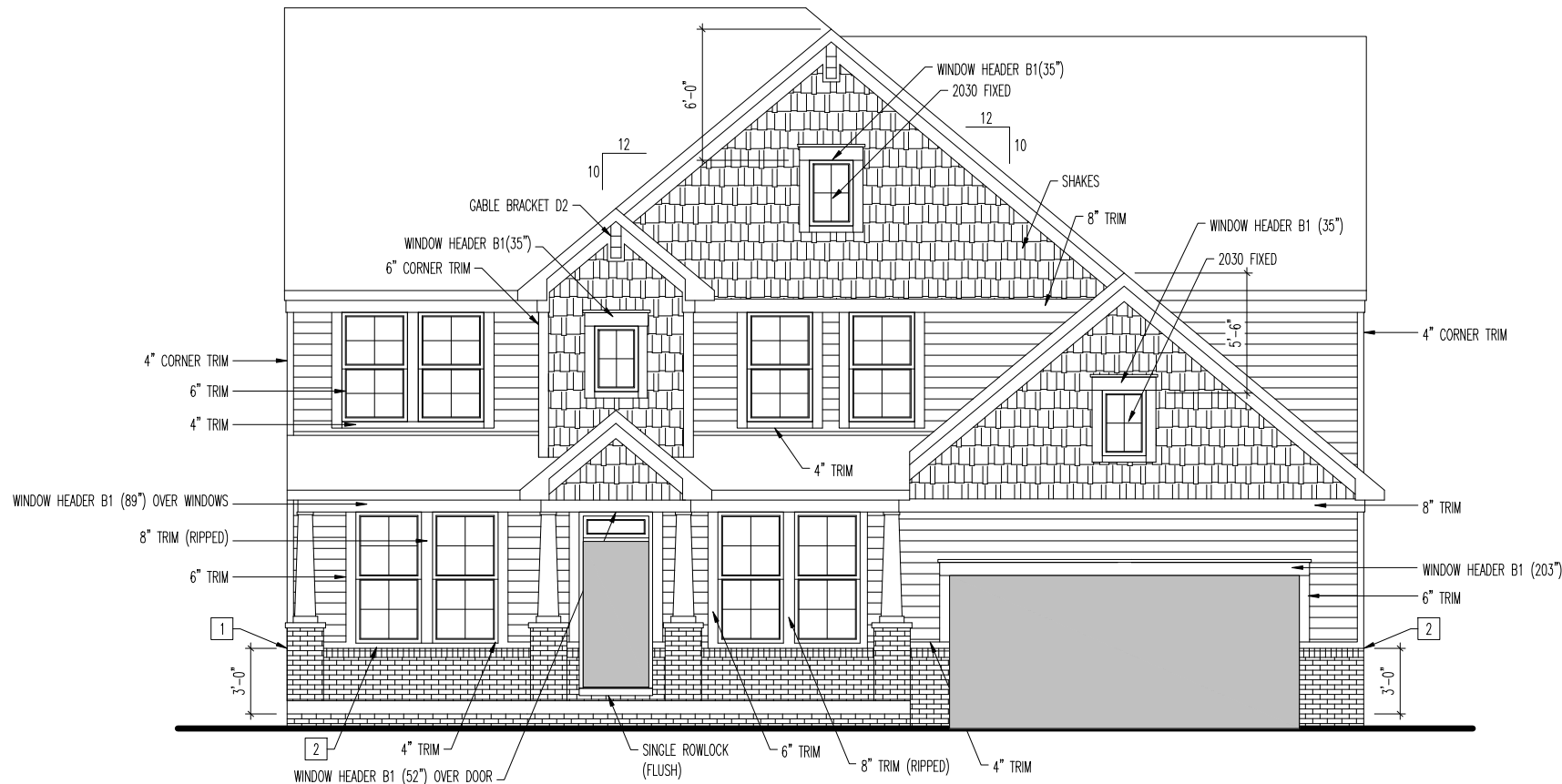
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Sheet Information

5.01

Building Section
Elevation "A"

TYPICAL TRIM:
6" FASCIA
8" FRIEZE



DROPPED BRICK TO GRADE - FIELD DETERMINE

General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- FRONT DOOR AND GARAGE DOOR PER SELECTIONS.
- REFER TO SELECTIONS/SPECIFICATIONS FOR ROOFING MATERIAL.

Key Notes

- 1 12"x12" TAPERED BOX COLUMN WITH MASONRY BASE RE: DETAIL A/7.02 FOR FRAMING
- 2 BRICK/SIDING TRANSITION RE: SPECIFICATION MANUAL FOR FRAMING
- 3 --
- 4 --
- 5 --
- 6 --
- 7 --
- 8 --
- 9 --
- 10 --

BRICK and STONE LINTEL SCHEDULE

	SPAN	36" HIGH	48" HIGH	LINTEL SIZE	WINDOW ABOVE
*BRICK	Up to 6'-0"	---	---	L3½ x 3½ x ¼	---
	Up to 8'-3"	---	---	L5 x 3½ x ⅝	---
	Up to 9'-3"	---	---	L6 x 4 x ⅝	L7 x 4 x ⅝
	Up to 16'-3"	L7 x 4 x ⅝	L8 x 4 x ½	L8 x 4 x ½	**per Design
*STONE	Up to 6'-0"	---	---	L4 x 3½ x ¼	---
	Up to 8'-3"	---	---	L5 x 3½ x ⅝	---
	Up to 9'-3"	---	L6 x 4 x ⅝	L7 x 4 x ⅝	**per Design
	Up to 16'-3"	---	L8 x 4 x ½	**per Design	**per Design

All Lintels: 4" Minimum bearing required each end
* Brick is based on 40psf and Stone is based on 60psf
** Any lintels not described by the above parameters shall be specifically designed.

RESIDENCE FOR:

Jason and Dena Rappaport
3769 Shannon Road
Elevate By Drees, Cleveland OH

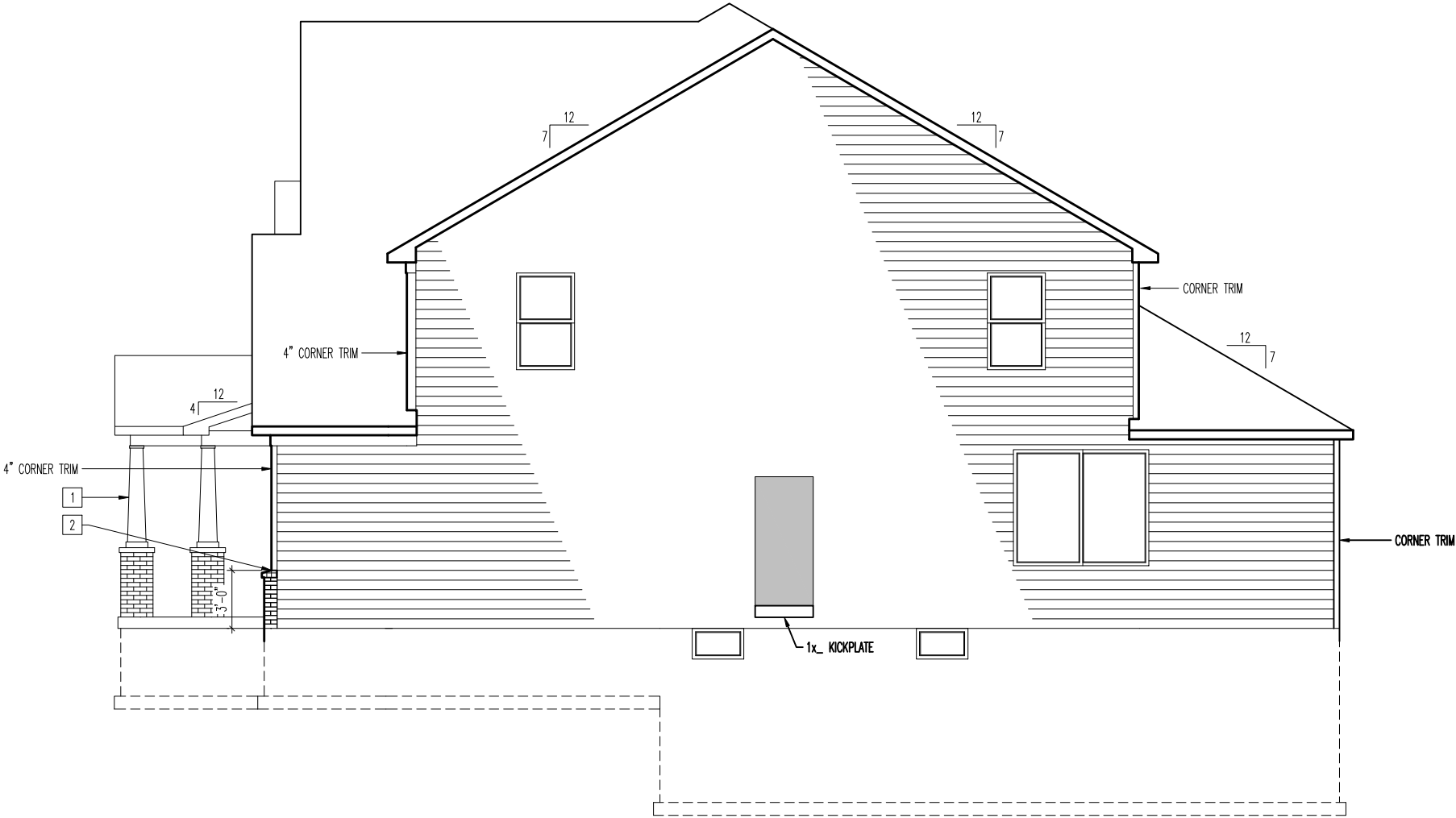
Job Number: DOYL-0178-00	Drawing Date: 02/04/25	Coord Name: Luke R.	Coord Phone: 859 578-4212
House Name: Drawing Scale: 1/8" = 1'-0"			Drawn By: Brian W.
the VANDERBURGH			Series: II
			Plan No.: N/A

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Sheet Information

6.01
Front Elevation
Elevation "A"



DROPPED BRICK TO GRADE - FIELD DETERMINE

TYPICAL TRIM:
6" FASCIA
8" FRIEZE

General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.

- FRONT DOOR AND GARAGE DOOR PER SELECTIONS.

- REFER TO SELECTIONS/SPECIFICATIONS FOR ROOFING MATERIAL.

Key Notes

112"x12" TAPERED BOX COLUMN WITH MASONRY BASE RE: DETAIL A/7.02 FOR FRAMING

2BRICK/SIDING TRANSITION RE: SPECIFICATION MANUAL FOR FRAMING

3--

4--

5--

6--

7--

8--

9--

10--

RESIDENCE FOR:

Jason and Dena Rappaport

3769 Shannon Road

Elevate By Drees, Cleveland OH

Job Number: DOYL-0178-00	Drawing Date: 02/04/25	Coord Name: Luke R.	Coord Phone: 859 578-4212
House Name: the VANDERBURGH			Drawn By: Brian W.
			Series: II
			Plan No.: N/A

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Sheet Information

6.02

Garage Side Elevation

Elevation "A"

TYPICAL TRIM:
6" FASCIA
8" FRIEZE

TYPICAL TRIM:
6" FASCIA
8" FRIEZE

General Notes	
<ul style="list-style-type: none">- REFER TO SHEET ON.1 FOR GENERAL NOTES.- REFER TO SELECTIONS/SPECIFICATIONS FOR ROOFING MATERIAL.	

General Notes	
<ul style="list-style-type: none">- REFER TO SHEET ON.1 FOR GENERAL NOTES.- REFER TO SELECTIONS/SPECIFICATIONS FOR ROOFING MATERIAL.	

Key Notes	
1	--
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Key Notes	
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RESIDENCE FOR:

Jason and Dena Rappaport

3769 Shannon Road
Elevate By Drees, Cleveland OH

RESIDENCE FOR:

Jason and Dena Rappaport

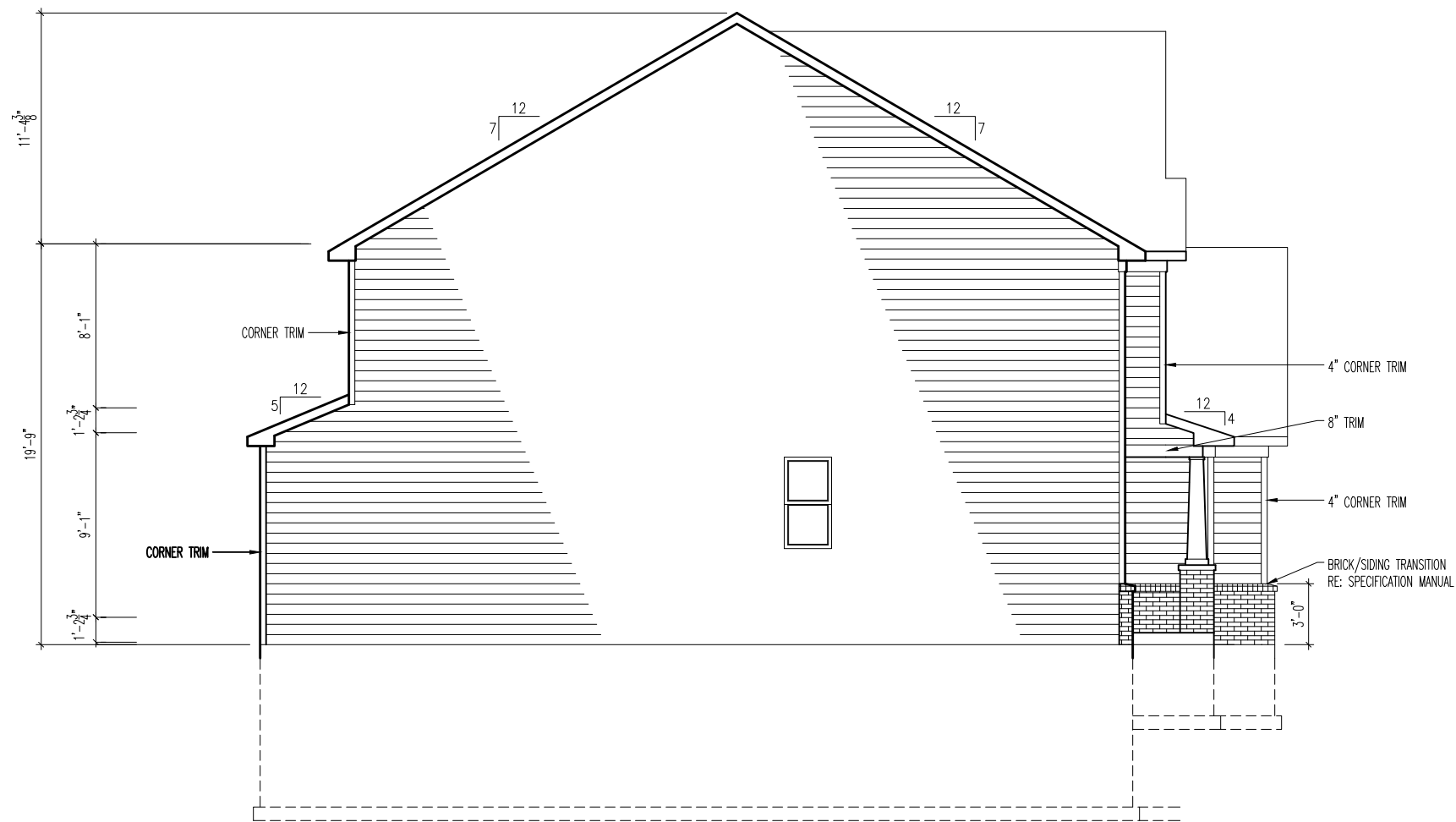
3769 Shannon Road
Elevate By Drees, Cleveland OH

Job Number: DOYL-0178-00	Drawing Date: 02/04/25	Coord Name: Luke R.	Coord Phone: 859 578-4212
House Name: Drawing Scale: 1/8" = 1'-0"			Drawn By: Brian W.
the VANDERBURGH			Series: II
			Plan No.: N/A

Job Number: DOYL-0178-00	Drawing Date: 02/04/25	Coord Name: Luke R.	Coord Phone: 859 578-4212
House Name: Drawing Scale: 1/8" = 1'-0"			Drawn By: Brian W.
the VANDERBURGH			Series: II
			Plan No.: N/A

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---	--------------------------	---



TYPICAL TRIM:
6" FASCIA
8" FRIEZE

General Notes	
1.	REFER TO SHEET 0N.1 FOR GENERAL NOTES.
2.	REFER TO SELECTIONS/SPECIFICATIONS FOR ROOFING MATERIAL.
Key Notes	
1	12"x12" TAPERED BOX COLUMN WITH MASONRY BASE RE: DETAIL A/7.02 FOR FRAMING
2	BRICK/SIDING TRANSITION RE: SPECIFICATION MANUAL FOR FRAMING
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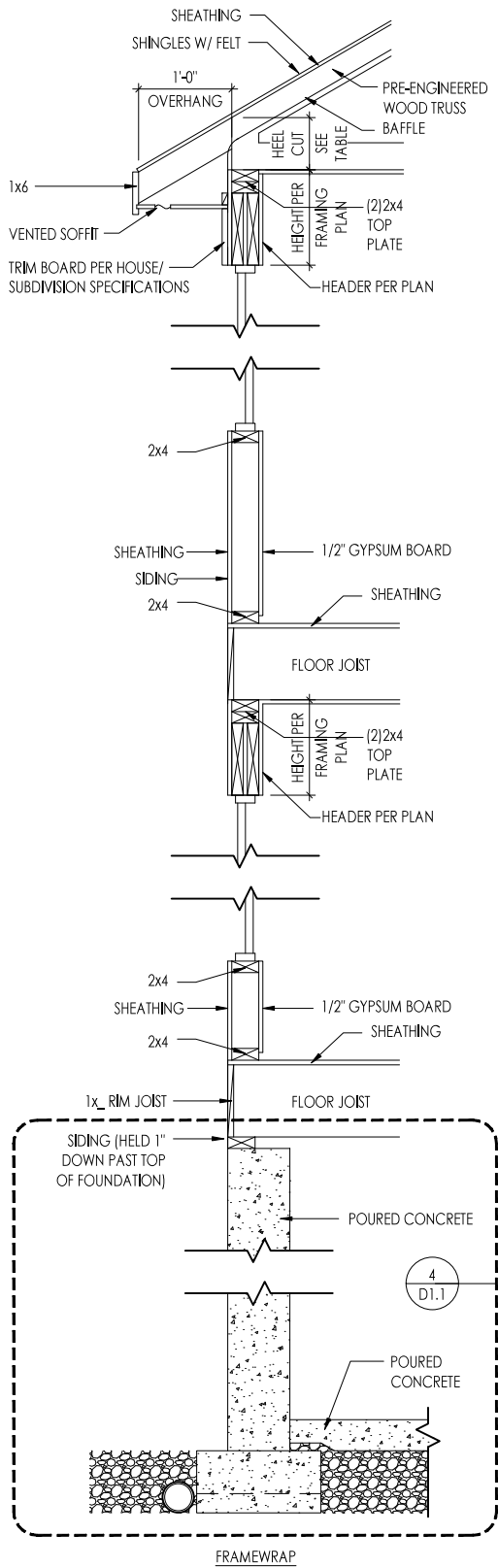
RESIDENCE FOR:			
Jason and Dena Rappaport			
3769 Shannon Road			
Elevate By Drees, Cleveland OH			
Job Number: DOYL-0178-00	Drawing Date: 02/04/25	Coord Name: Luke R.	Coord Phone: 859 578-4212
House Name:			Drawing Scale: 1/8" = 1'-0"
the VANDERBURGH			Drawn By: Brian W.
			Series: II
			Plan No.: N/A



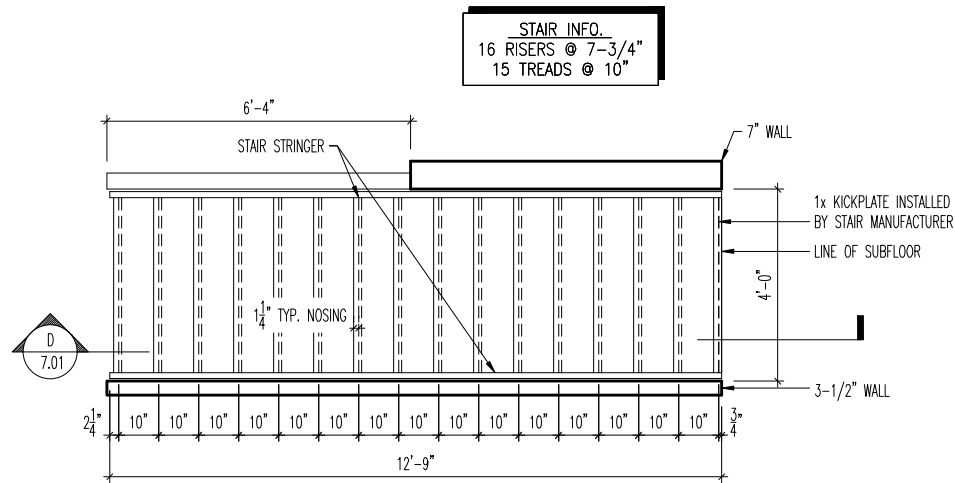
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PHONE: (440) 717-9670

Sheet Information

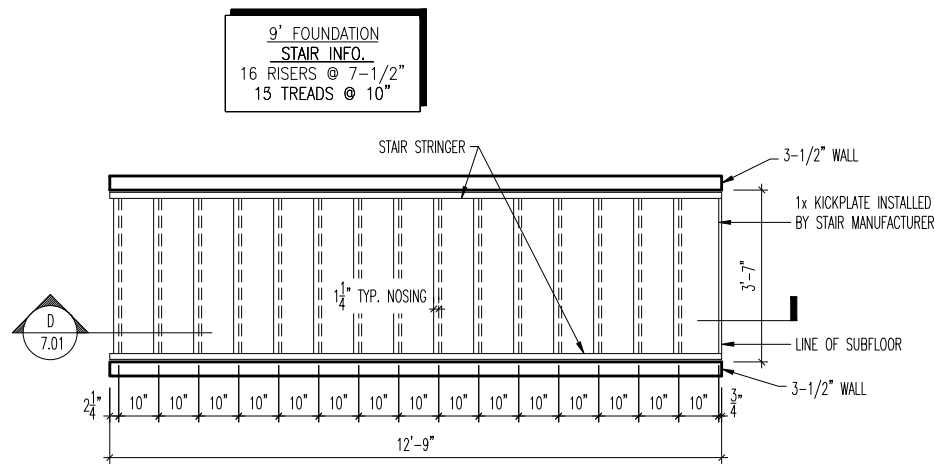
6.04
Side Elevation
Elevation "A"



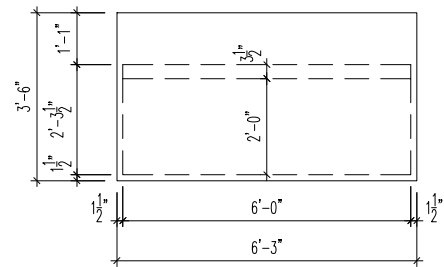
A
7.01
WALL SECTION
SCALE: 1/2" = 1'-0"



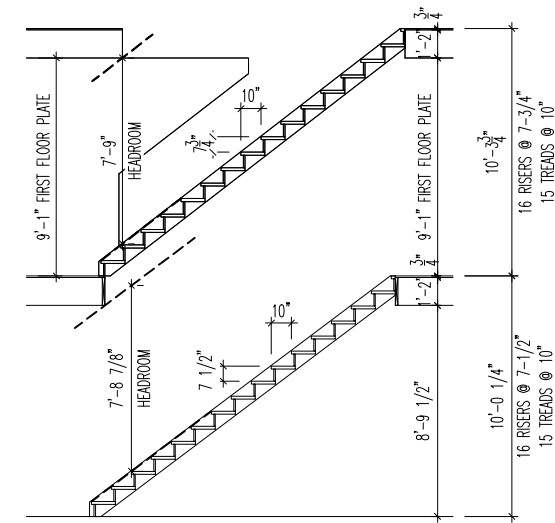
C
7.01
SECOND FLOOR STAIR DETAIL
SCALE: 1/4" = 1'-0"



B
7.01
BASEMENT STAIR DETAIL
SCALE: 1/4" = 1'-0"



E
7.01
KITCHEN ISLAND DETAIL
SCALE: 1/4" = 1'-0"



D
7.01
STAIR SECTION
SCALE: 1/8" = 1'-0"

General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes

- 1 --
- 2 --
- 3 --
- 4 --
- 5 --
- 6 --
- 7 --
- 8 --
- 9 --
- 10 --

RESIDENCE FOR:

Jason and Dena Rappaport
3769 Shannon Road
Elevate By Drees, Cleveland OH

Job Number: DOYL-0178-00	Drawing Date: 02/04/25	Coord Name: Luke R.	Coord Phone: 859 578-4212
House Name: the VANDERBURGH			Drawn By: Brian W.
			Series: II
			Plan No.: N/A

Drees
HOMESSM
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Sheet Information

7.01
House Specific Details
Elevation "A"