

CONSOLIDATION PLAN



ARCHITECTS

430 GRANT STREET
AKRON, OH 44311
PHONE: (330) 867-1093
www.tcarchitects.com

CONSOLIDATION PLAN

OAK TREE VETERINARY HOSPITAL
S. TAYLOR RD., CLEV. HTS. OH 44118

REVISION

11/23/2022
DATE

11/22/2020
INTO REALITY

AKRON, OH 44311
PHONE (330) 867-1111
www.lcarchitects.com

11/23/2022
DATE

11/22/2020
INTO REALITY

AKRON, OH 44311
PHONE (330) 867-1111
www.lcarchitects.com

ARCHITECT

23

3

CONSOLIDATION PLAN

OAK TREE VETERINARY HOSPITAL
S. TAYLOR RD., CLEV. HTS. OH 44118

20-32 ND

DRAWING INDEX

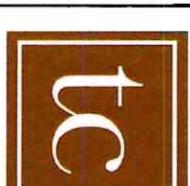
20-3

LOCATION MAP

PROJECT TEAM

SYMBOLS

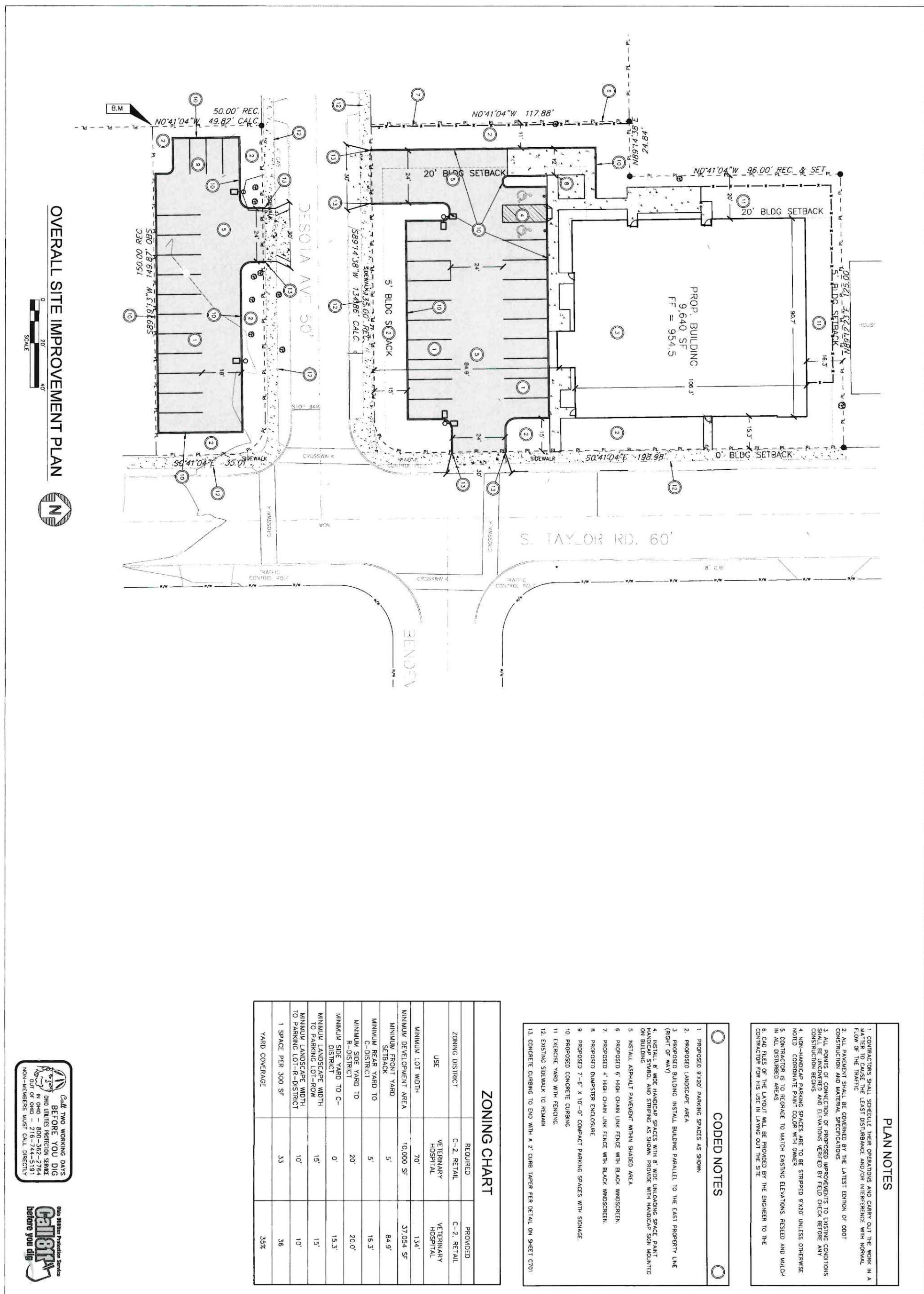
DRAWING ORGANIZATION SYSTEM



TITLE SHEET

OAK TREE VETERINARY HOSPITAL
1794 S. TAYLOR RD., CLEV. HTS. OH

A001



TURNING VISIONS
INTO REALITY



OVERALL SITE PLAN

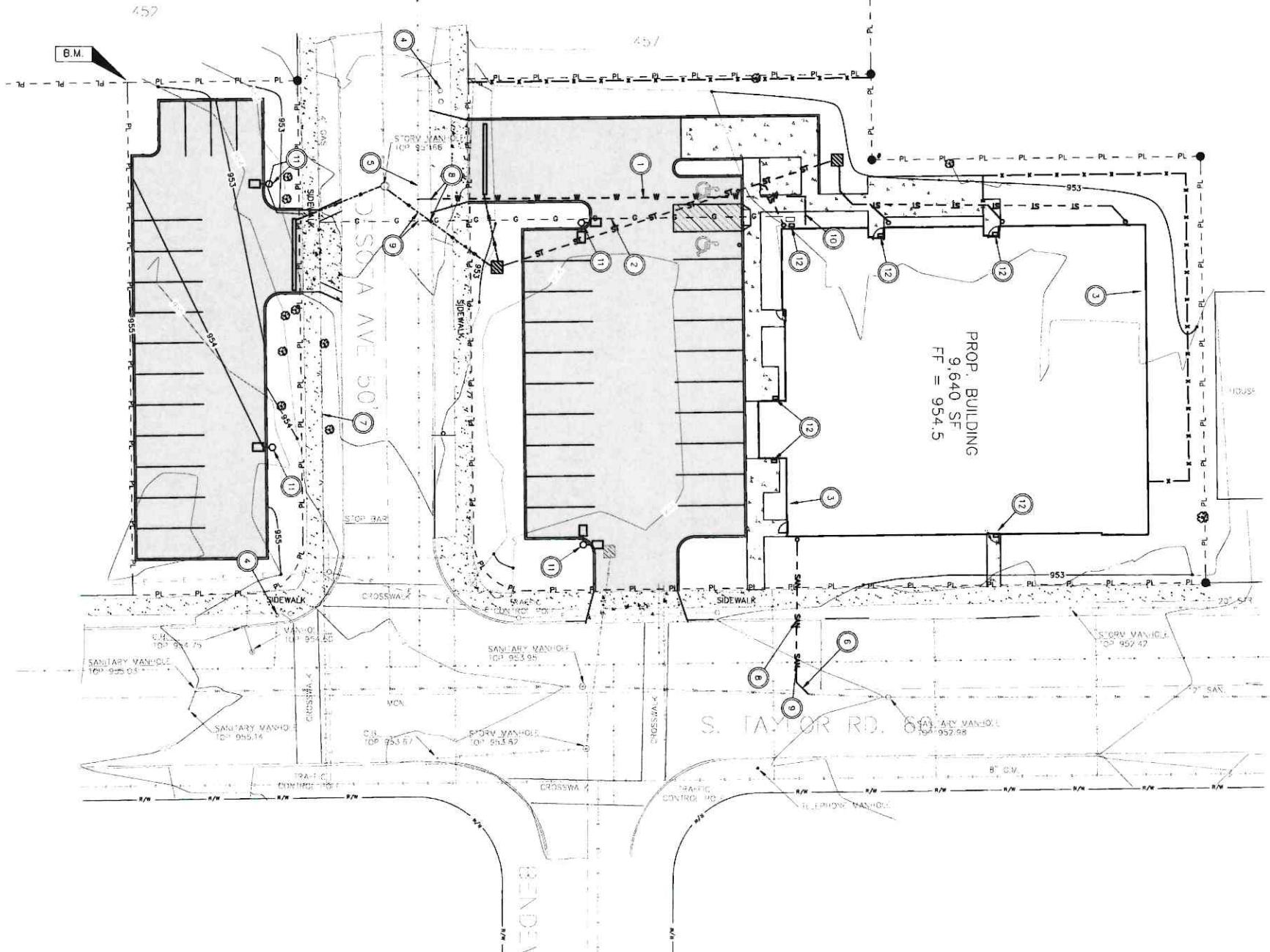
OAK TREE VETERINARY HOSPITAL
S. TAYLOR RD., CLEV. HTS. OH 44118

PRELIMINARY
DO NOT USE FOR
CONSTRUCTION
DATE 12/14/22
SCHREIBER
BUCKEY
Mayfield
REVISIONS

C101
12/14/2022
79A21
DATE
PROJECT NUMBER
DRAWING NUMBER

430 GRANT STREET
AKRON, OH 44311
PHONE: (330) 857-1093
www.tcaarchitects.com

PLA VOL 41 PG 11-19



CONSTRUCTION NOTES

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ENTIRE LAYOUT OF THE PROJECT.
 3. ALL CONTRACTORS SHALL MAINTAIN POSITIVE DRAINAGE AT ALL TIMES AND SHALL BACKFILL AND GRADE EXCAVATED AREAS SO AS TO ELIMINATE PONDING ON THE SITE, OR ADJACENT PROPERTY.
 4. EACH CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF EXISTING ELEVATIONS AT CRITICAL POINTS SUCH AS APPROACHES OF DRAINAGE STRUCTURES, CURBING, ETC. VERIFICATION SHALL BE PERFORMED DURING LAYOUT STAGES AND SIGNIFICANT DISCREPANCIES REPORTED TO THE ENGINEER IMMEDIATELY.
 5. ALL CONSTRUCTION SHALL CONFORM TO THE DEPT. OF LABOR, BUREAU OF LABOR STANDARDS, SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION AND THE CONTRACT WORK HOURS AND SAFETY ACT (CHAPTER XVII TITLE C&R, PART 1926 AND ALL ADDITIONS AND REVISIONS).
 6. ALL PAVEMENT WORK SHALL COMPLY WITH THE LATEST OHIO DEPARTMENT OF TRANSPORTATION STANDARDS.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRENCHING, BACKFILLING AND PIPE INSTALLATION, PIPE MATERIAL AND TAP CONNECTION CLEARANCES.
 - AN 18 INCH MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED FROM THE EDGE OF ALL WATER PIPE TO THE EDGE OF ALL STORM SEWER PIPE.
 - A 4 FOOT MINIMUM HORIZONTAL CLEARANCE SHALL BE MAINTAINED FROM THE EDGE OF ALL WATER PIPE TO THE EDGE OF ALL STORM SEWER PIPES.
 - A 10 FOOT MINIMUM HORIZONTAL CLEARANCE SHALL BE MAINTAINED FROM THE EDGE OF ALL WATER PIPE TO THE EDGE OF ALL SANITARY SEWER OR FORCE MAIN PIPES.
 - AN 18 INCH MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED FROM THE EDGE OF ALL WATER PIPE TO THE EDGE OF ALL SANITARY SEWER PIPE.

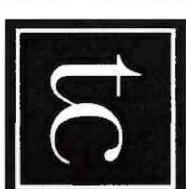
PRELIMINARY

DO NOT USE FOR
CONSTRUCTION

DATE 12/14/22

SITE UTILITY PLAN

OAK TREE VETERINARY HOSPITAL
S. TAYLOR RD., CLEV. HTS. OH 44118



ARCHITECTS

450 SHAW STREET
AKRON, OH 44311
PHONE: (330) 867-1095
www.lcarchitects.com

TURNING VISIONS
INTO REALITY

12/14/2022
DATE

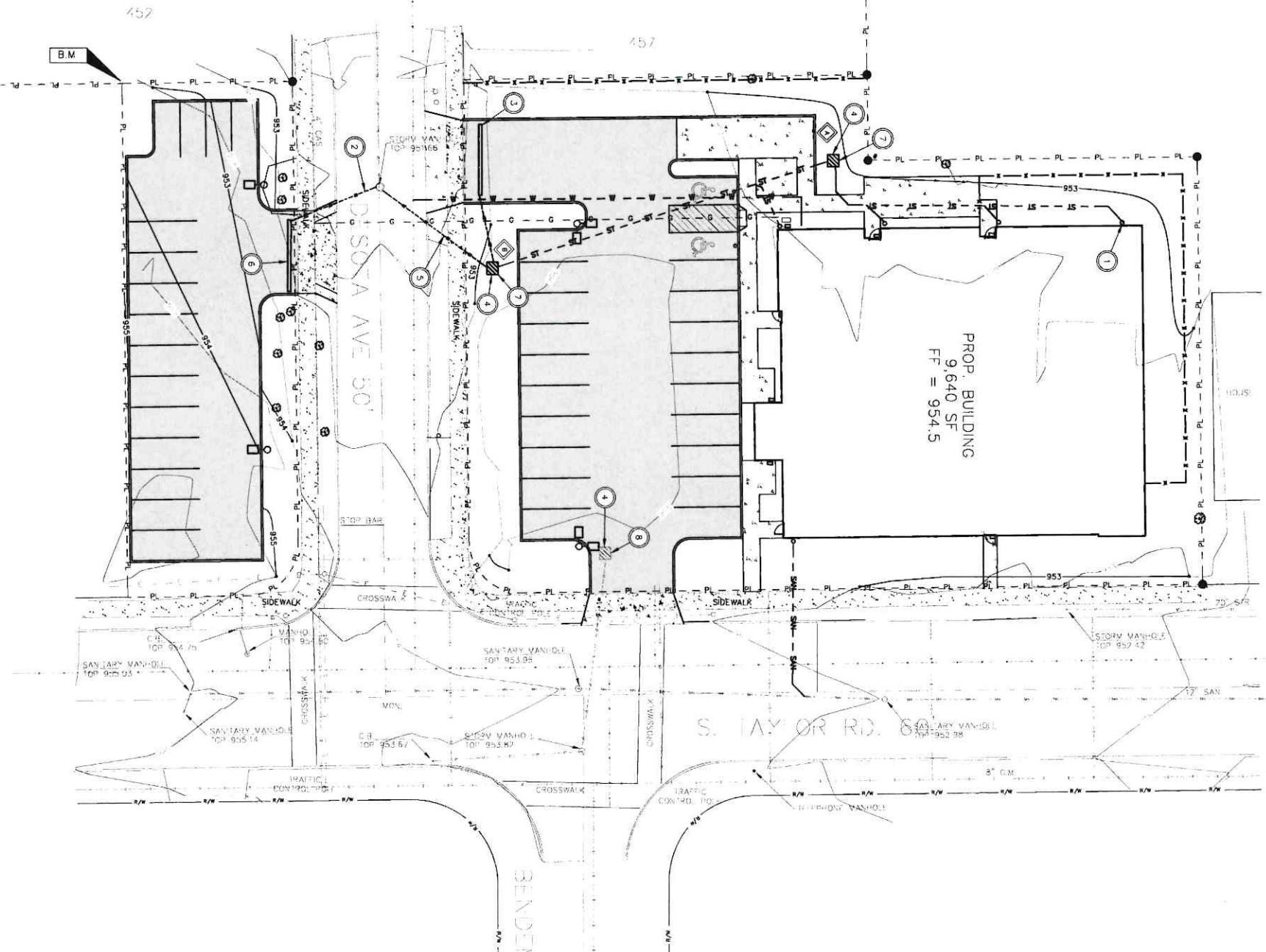
PROJECT NUMBER

Call TWO WORKING DAYS
BEFORE YOU DIG

OHIO UNIUNES PROTECTION SERVICE
IN OHIO - 800-362-7646
OUT OF OHIO - 216-444-5191
NON-MEMBERS MUST CALL DIRECTLY

C300	PROJECT NUMBER
DRAWING NUMBER	

PLAT VOL 41 PG 17-19



SITE GRADING AND STORM SEWER PLAN



NOTE:
AN EXISTING BUILDING AND PAVED PARKING LOT LOCATED ON THE SAME PARCEL AS THE PROPOSED PARKING LOT HAVE BEEN REMOVED. SEE OUTLINE ON SHEET C2.0. THIS PROJECT WILL RESULT IN A REDUCTION IN SITE STORMWATER RUNOFF AS THE ONSITE IMPERVIOUS AREA WILL BE REDUCED.



SEWER SUMMARY

	PROP. YARD BASIN "A" PROP. CASTING = 952.8 PROP. 12' INV (S) = 949.8
	PROP. YARD BASIN "B" PROP. CASTING = 952.8 PROP. 12' INV (S) = 949.8

CONSTRUCTION NOTES	
1. CONTRACTORS SHALL SCHEDULE THEIR OPERATIONS AND CARRY OUT THE WORK IN A MANNER TO CAUSE THE LEAST DISTURBANCE AND/OR INTERFERENCE WITH NORMAL TRAFFIC FLOW.	
2. THE EXISTING UNDERGROUND INFORMATION AND TOPOGRAPHIC INFORMATION IS BASED ON THE PROJECTS SURVEY. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. IF THE CONTRACTOR ENCOUNTERS UTILITIES IN A LOCATION OTHER THAN THOSE SHOWN ON THE PLANS, HE SHALL IMMEDIATELY NOTIFY THE OWNER AND TAKE THE NECESSARY STEPS TO PROTECT THE FACILITY AND ASSURE THE CONTINUANCE OF SERVICE.	
3. ALL CONTRACTORS SHALL MAINTAIN POSITIVE DRAINAGE AT ALL TIMES AND SHALL BACKFILL AND GRADE EXCAVATED AREAS SO AS TO ELIMINATE PONDING ON THE SITE, OR ADJACENT PROPERTY.	
4. CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF EXISTING ELEVATIONS AT CRITICAL POINTS, SUCH AS APPROACHES OF DRAINAGE STRUCTURES, CURBING, ETC. VERIFICATION SHALL BE PERFORMED DURING LAYOUT STAGES AND SIGNIFICANT DISCREPANCIES REPORTED TO THE ENGINEER IMMEDIATELY.	
5. CONTRACTOR SHALL CONDUCT HIS OPERATIONS SUCH THAT THE FLOW OF ALL EXISTING SEWERS AND LATERALS WILL BE MAINTAINED AT ALL TIMES.	

PRELIMINARY	
DO NOT USE FOR CONSTRUCTION	
DATE 12/14/22	
SCHIEBESER	
BUCKLEY	
Mayfield	
REVISIONS	

SITE GRADING AND STORM SEWER

OAK TREE VETERINARY HOSPITAL

S. TAYLOR RD., CLEV. HTS. OH 44118



ARCHITECTS

430 GRANT STREET
AKRON, OH 44311
PHONE (330) 867-1093
www.tarcitects.com

TURNING VISIONS
INTO REALITY

12/14/2022

DATE

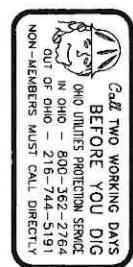
79A21

DATE

C400

PROJECT NUMBER

DRAWING NUMBER



SITE PAVING PLAN



*ELEVATIONS ARE TO TOP OF PAVEMENT WHERE APPLICABLE
HP = HIGH POINT LP = LOW POINT

LEGEND

LEGEND

SITE LAYOUT STATIONING		
POINT #	DESCRIPTION	ELEVATION
1	CORNER OF PAVEMENT	
2	CORNER OF PAVEMENT	
3	CORNER OF PAVEMENT	
4	END OF 2' RADIUS	
5	END OF 2' RADIUS	
6	CORNER OF PAVEMENT	
7	CORNER OF PAVEMENT	
8	CORNER OF PAVEMENT	
9	CORNER OF PAVEMENT	
10	CORNER OF PAVEMENT	
11	CORNER OF PAVEMENT	

21. INSTALL NEW CURBING SECTION. INSTALL SECTION TO MATCH NEW CURBING. LIMIT
22. INSTALL NEW CONCRETE AFRON SECTION TO ALIGN WITH REMAINING APRON.
23. INSTALL 12' CONCRETE APRON
24. INSTALL NEW CURBING WITHIN DEMO ENTRANCE.

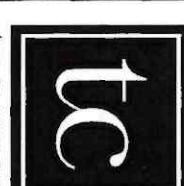
CODED NOTES

- 2 INSTALL 5' WIDE CONCRETE SIDEWALK
 - 3 PROPOSED LANDSCAPE AREA
 - 4 INSTALL BUILDING PARALLEL TO THE EAST PROPERTY LINE (RIGHT OF WAY)
 - 5 INSTALL 8' WIDE HANDICAP SPACES WITH 8' UNLOADING SPACE. PAINT HANDICAP SYMBOL AND STRIPING AS SHOWN. PROVIDE WITH HANDICAP SIGN
 - 6 INSTALL ASPHALT PAVEMENT WITHIN SHADED AREA
 7. PROPOSED 6' HIGH CHAIN LINK FENCE WITH BLACK WINDSCREEN. INSTALL 1' OFFSET FROM PROPERTY LINE.
 8. INSTALL FROST PROOF SLAB AT DOOR PER DETAILS ON THE ARCHITECTURAL PLANS (TYPICAL)
 9. PROPOSED 35' OF 4' HIGH CHAIN LINK FENCE WITH BLACK WINDSCREEN. INSTALL 1' OFFSET FROM PROPERTY LINE
 10. INSTALL 8'X12' CONCRETE DUMPSTER PAD WITH ENCLOSURE. SEE DETAILS ON SHEET C700.
 11. INSTALL 4' 7"-6" X 10'-0" COMPACT PARKING SPACE.
 12. END CURBING WITH A 2' CURB TAPER AT SIDEWALK
 13. OFFSET CORNER OF THE BUILDING AT 20'-0" FROM WEST PROPERTY LINE.
 14. INSTALL HANDICAP RAMP
 15. INSTALL CONCRETE SIDEWALK
 16. INSTALL CURBING PER DETAIL ON SHEET C700.
 17. INSTALL HANDICAP SIGN PER DETAIL ON SHEET C700.
 18. INSTALL INTEGRAL CONCRETE SIDEWALK AND CURB PER DETAIL ON SHEET C700.
 19. EXTEND CONCRETE APRON TO BE 24' WIDE AT THE SIDEWALK AND 36' WIDE AT THE CURB LINE.
 20. INSTALL CONCRETE APRON WITHIN RIGHT-OF-WAY WITH 24' WIDTH AT SIDEWALK AND 30' WIDTH AT CURB LINE. INSTALL NEW SIDEWALK AND CONCRETE CURBING ALONG OUTSIDE OF CONCRETE APRON LIMITS TO MEET REMAINING SECTIONS OF SIDEWALK AND CURBING
 21. INSTALL NEW CURBING ALONG S. TAYLOR STREET TO MATCH NEW ENTRANCE LIMITS
 22. INSTALL NEW CONCRETE APRON SECTION TO ALIGN WITH REMAINING APRON.
 23. INSTALL 12' CONCRETE APRON

PLAN NOTES

1. CONTRACTORS SHALL SCHEDULE THEIR OPERATIONS AND CARRY OUT THE WORK IN A MANNER TO CAUSE THE LEAST DISTURBANCE AND/OR INTERFERENCE WITH NORMAL FLOW OF THE TRAFFIC.
2. ALL PAVEMENT SHALL BE GOVERNED BY THE LATEST EDITION OF ODOT CONSTRUCTION AND MATERIAL SPECIFICATIONS.
3. ALL POINTS OF CONNECTION OF PROPOSED IMPROVEMENTS TO EXISTING CONDITIONS SHALL BE UNCOVERED AND ELEVATIONS VERIFIED BY FIELD CHECK BEFORE ANY CONSTRUCTION BEGINS.
4. NON-HANDICAP PARKING SPACES ARE TO BE STRIPPED 9'x20' UNLESS OTHERWISE NOTED. COORDINATE PAINT COLOR WITH OWNER.
5. CONTRACTOR IS TO REGRADE TO MATCH EXISTING ELEVATIONS, RESeed AND MULCH IN ALL DISTURBED AREAS.
6. CAD FILES OF THE LAYOUT WILL BE PROVIDED BY THE ENGINEER TO THE CONTRACTOR FOR HIS USE IN LAYING OUT THE SITE.

SITE PAVEMENT PLAN



OAK TREE VETERINARY HOSPITAL
S. TAYLOR RD., CLEV. HTS. OH 44118

430 GRANT STREET
AKRON OH 44311
PHONE (330) 867-1093
www.tearchitects.com

12/14/2022

79A21

PROJECT NUMBER

11

260

3500

500

300

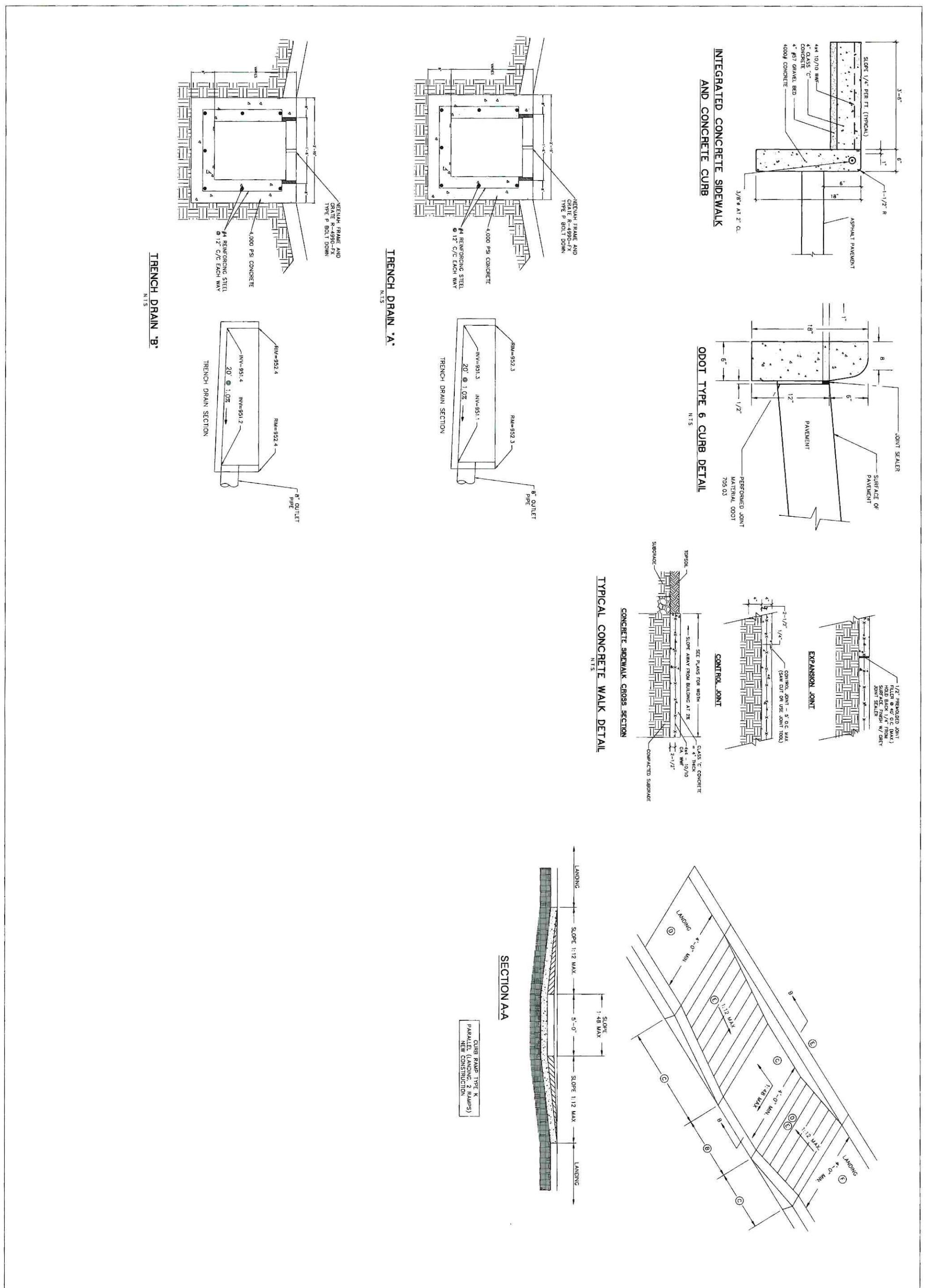
111

DRAWING NUMBERS

DRAWING NUMBER

DRAWING NUMBER

100



SITE DETAILS

OAK TREE VETERINARY HOSPITAL
S. TAYLOR RD., CLEV. HTS. OH 44118

PRELIMINARY
DO NOT USE FOR
CONSTRUCTION
DATE 12/14/22
Scheerer
SM BUCKLEY
Mayfield

C701
DRAWING NUMBER

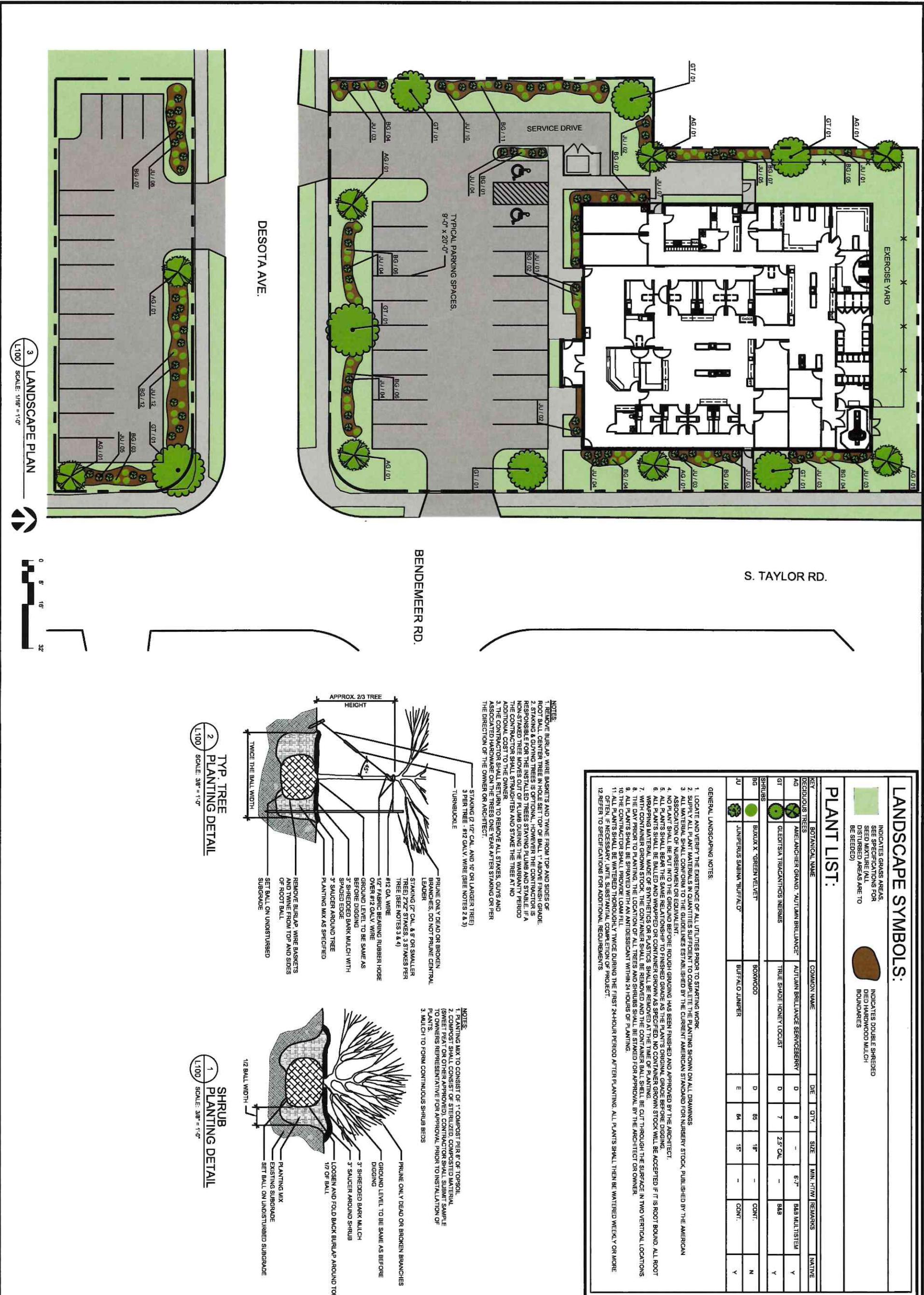
TURNING VISIONS
INTO REALITY

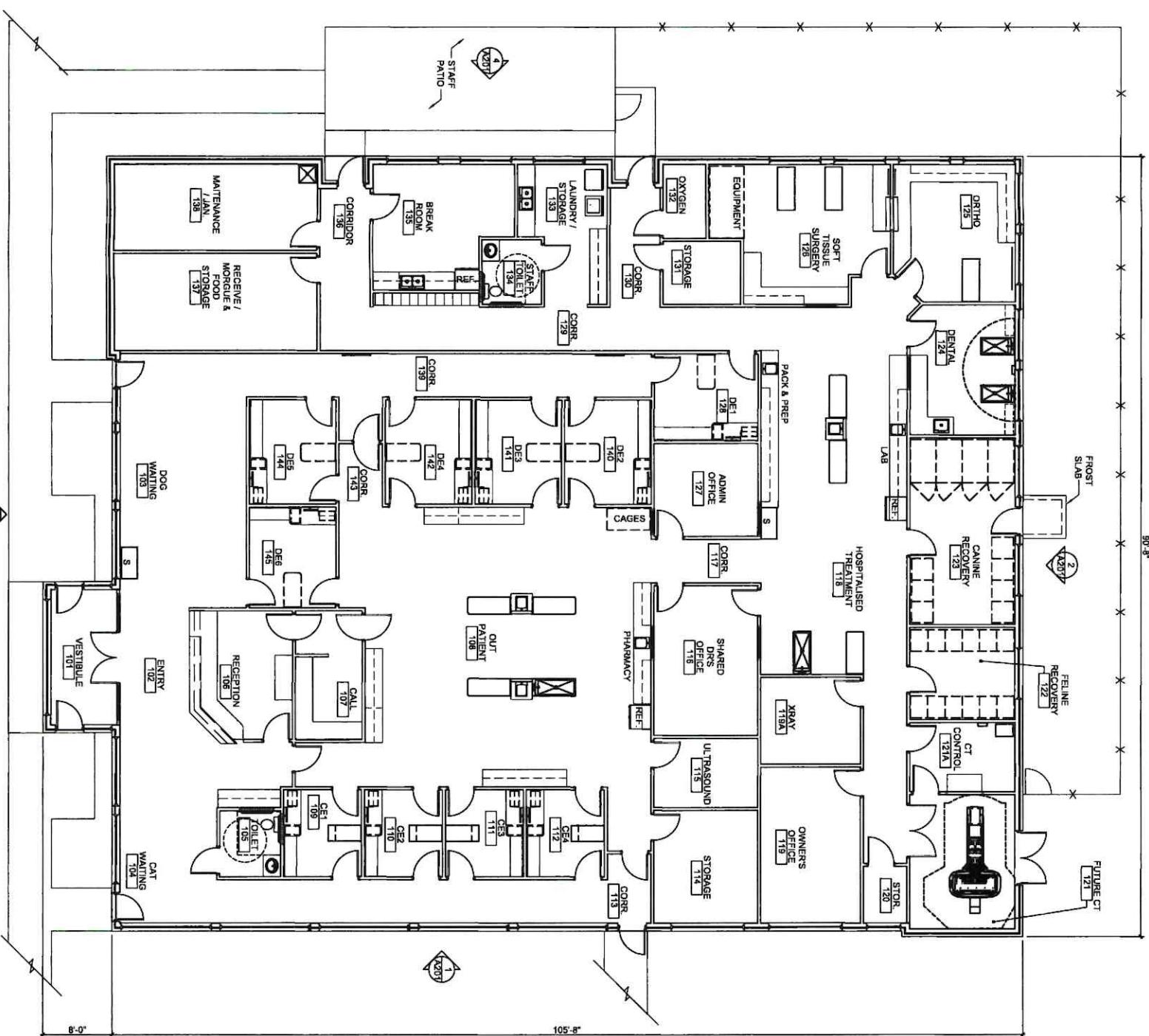
12/14/2022
DATE

79A21
PROJECT NUMBER



ARCHITECTS
430 GRANT STREET
AKRON, OH 44311
PHONE: (330) 867-1093
www.tcarchitects.com





GENERAL NOTES

1. EXTERIOR DIMENSIONS ARE FROM FACE OF BRICK TO FACE OF BRICK

FLOOR PLAN

OAK TREE VETERINARY HOSPITAL
1794 S. TAYLOR RD., CLEV. HTS. OH



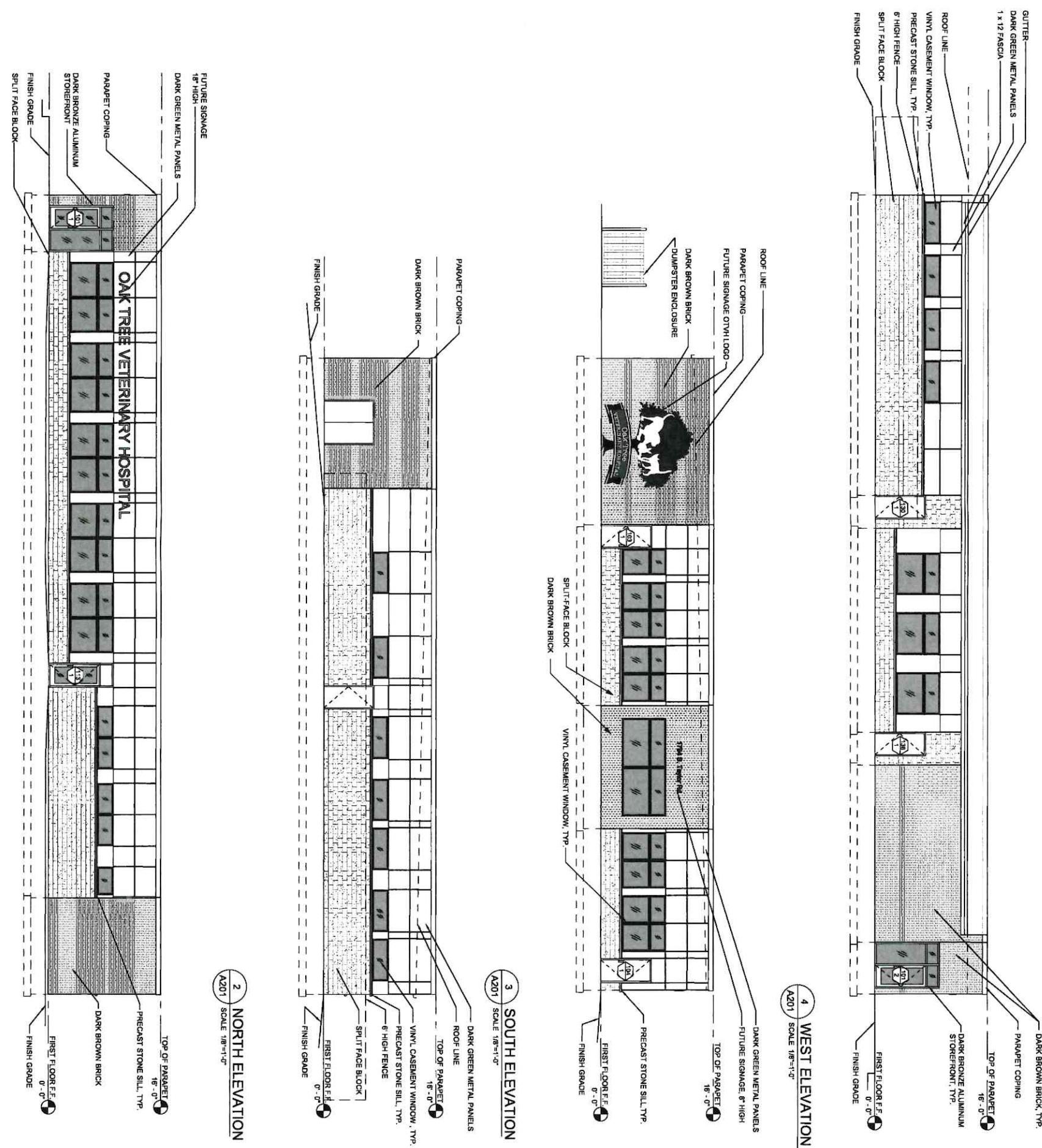
ARCHITECTS

430 GRANT STREET
AKRON, OH 44311
PHONE: (330) 867-1093
www.larchitects.com

TURNING VISIONS
INTO REALITY

12/14/2022
DATE
79B21

A101



EXTERIOR ELEVATIONS

OAK TREE VETERINARY HOSPITAL
1794 S. TAYLOR RD., CLEV. HTS. OH



ARCHITECTS

430 GRANT STREET
AKRON, OH 44311
PHONE: (330) 867-1093

TURNING VISIONS
INTO REALITY

INTO REALITY

79B21

A201



1
3D RENDERING
A700
SCALE NTS



3D RENDERING

OAK TREE VETERINARY HOSPITAL
1794 S. TAYLOR RD., CLEV. HTS. OH

REVISIONS

A700

PROJECT NUMBER

12/14/2022

DATE

79B21

DRAWING NUMBER