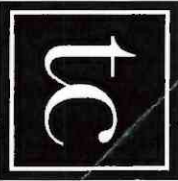


CONSOLIDATION PLAN



CONSOLIDATION PLAN

OAK TREE VETERINARY HOSPITAL  
S. TAYLOR RD., CLEV. HTS. OH 44118



ARCHITECTS

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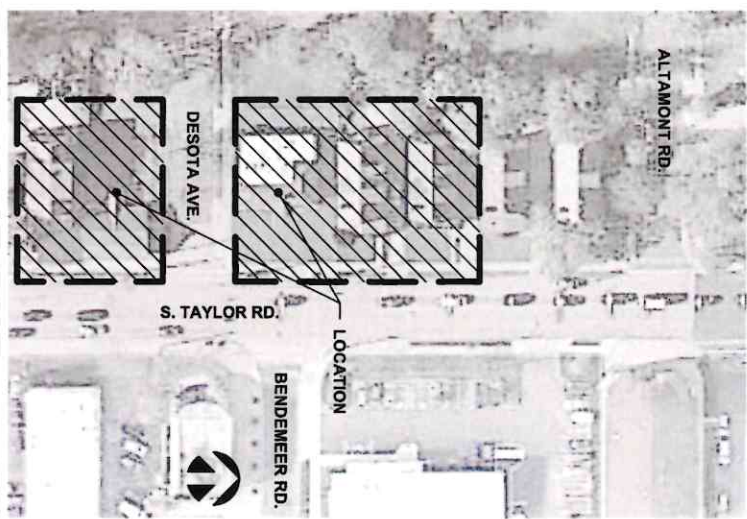
DATE 11/23/2022

PROJECT NUMBER 79A21

DRAWING NUMBER C001

REVISIONS

PN 23-02



LOCATION MAP



ARCHITECTS  
ARCHITECTURE & INTERIOR DESIGN  
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AKRON, OHIO 44311  
PHONE: 330-867-1093  
FAX: 330-867-4198



INTERIOR DESIGN  
430 GRANT STREET  
AKRON, OHIO 44311  
SUITE 102  
PHONE: 330-867-1093  
FAX: 330-867-4198




CIVIL, PLUMBING, MECHANICAL,  
AND ELECTRICAL ENGINEERING  
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PHONE: 330-562-2700  
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STRUCTURAL ENGINEERING  
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PHONE: 330-733-8332

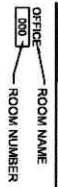
PROJECT TEAM




DOOR NUMBER  
ROOM NUMBER  
DOOR NUMBER




GLASS TYPE  
GLASS TYPE



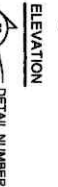
ROOM NAME AND NUMBER  
ROOM NAME  
ROOM NUMBER




WINDOW TYPES  
WINDOW TYPES



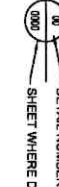
DOOR TYPES  
DOOR TYPES




FRAME TYPES  
FRAME TYPES



ELEVATION  
DETAIL NUMBER  
SHEET WHERE DRAWN  
WALL SECTION OR DETAIL



DETAIL NUMBER  
SHEET WHERE DRAWN



PARTITION TYPE  
PARTITION TYPE

SYMBOLS

**DRAWING FORMAT**

NUMERIC SYSTEM CODE	DRAWING GROUPS
A001	TITLE SHEET
A002	CODE DATA AND LIFE SAFETY PLAN
EX101, EX102, ETC.	EXISTING FLOOR, ROOF AND REFLECTED CEILING PLANS
EX201, EX202, ETC.	EXISTING EXTERIOR ELEVATIONS
D101, D102, ETC.	DEMOLITION FLOOR, ROOF AND REFLECTED CEILING PLANS
D201, D202, ETC.	DEMOLITION EXTERIOR ELEVATIONS
A101, A102, ETC.	FLOOR, ROOF AND REFLECTED CEILING PLANS
A201, A202, ETC.	BUILDING ELEVATIONS AND MAJOR BUILDING SECTIONS
A301, A302, ETC.	STAIR, ELEVATOR SECTIONS AND DETAILS
A401, A402, ETC.	WALL SECTIONS AND DETAILS
A501, A502, ETC.	INTERIOR PLAN DETAILS AND INTERIOR ELEVATIONS
A601, A602, ETC.	PARTITION TYPES, DOOR SCHEDULE AND DETAILS, WINDOW SCHEDULE AND DETAILS
A701, A702, ETC.	FURNITURE, FINISH AND EQUIPMENT PLANS, FINISH SCHEDULES, PROJECT SPECIFIC PLANS AND DETAILS (IE. GRADING, LBS EQUIPMENT, ETC.)

**NUMERIC SYSTEM CODE**

A101

GROUP DESIGNATION

DISCIPLINE PREFIX

DISCIPLINE PREFIX	DISCIPLINE
C	CIVIL
L	LANDSCAPING
A	ARCHITECTURAL
S	STRUCTURAL
P	PLUMBING
FP	FIRE PROTECTION
M	MECHANICAL
E	ELECTRICAL
T	TECHNOLOGY
K	KITCHEN

DRAWING ORGANIZATION SYSTEM

DRAWING INDEX

A001	TITLE SHEET
CIVIL	SITE SURVEY
C100	OVERALL SITE PLAN
C101	SITE CLEANING PLAN
C200	SITE STORMWATER PLAN
C300	SITE GRADING AND STORM SEWER
C400	SITE PAVEMENT PLAN
C601	EROSION CONTROL DETAILS
C700	SITE DETAILS
C701	SITE DETAILS
LANDSCAPING	LANDSCAPING PLAN
L100	LANDSCAPING PLAN
ARCHITECTURAL	FLOOR PLAN
A101	EXTERIOR ELEVATIONS
A201	3D RENDERING
A700	

REVISIONS

TITLE SHEET

OAK TREE VETERINARY HOSPITAL  
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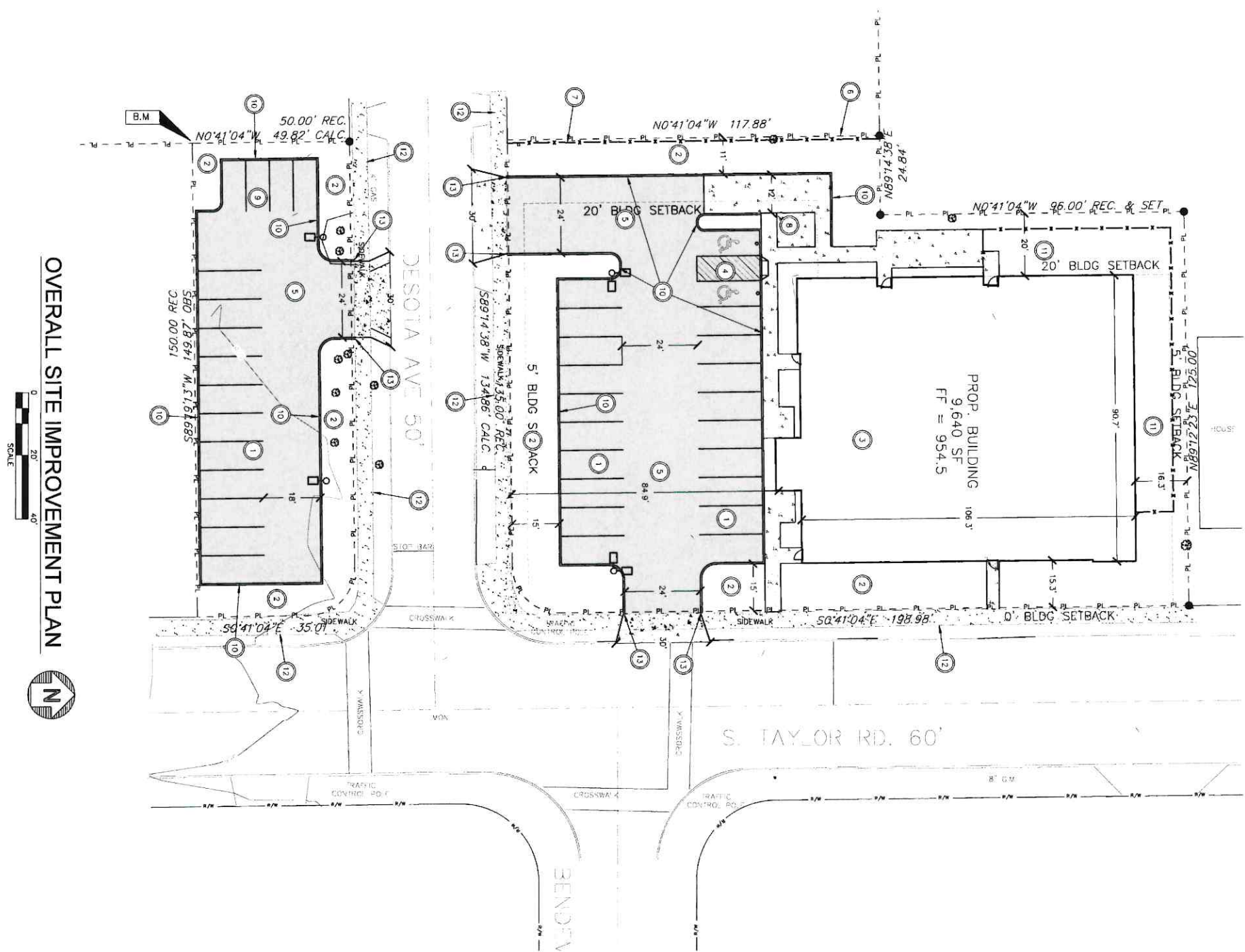
A001

DRAWING NUMBER









## PLAN NOTES

1. CONTRACTORS SHALL SCHEDULE THEIR OPERATIONS AND CARRY OUT THE WORK IN MATTER TO CAUSE THE LEAST DISTURBANCE AND/OR INTERFERENCE WITH NORMAL FLOW OF THE TRAFFIC.
2. ALL PAVEMENT SHALL BE COVERED BY THE LATEST EDITION OF 000T CONSTRUCTION AND MATERIAL SPECIFICATIONS.
3. ALL POINTS OF CONNECTION OR PROPOSED IMPROVEMENTS TO EXISTING CONDITIONS SHALL BE UNCOVERED AND ELEVATIONS VERIFIED BY FIELD CHECK BEFORE ANY CONSTRUCTION BEGINS.
4. NON-PAVED/PAVED PARKING SPACES ARE TO BE STRIPPED 9'X20' UNLESS OTHERWISE NOTED. COORDINATE PAINT COLOR WITH OWNER.
5. CONSTRUCTION IS TO REGRADE TO MATCH EXISTING ELEVATIONS, RESEED AND MULCH IN ALL DISTURBED AREAS.
6. CAD FILES FOR THE LAYOUT WILL BE PROVIDED BY THE ENGINEER TO THE CONTRACTOR FOR HIS USE IN LAYING OUT THE SITE.

## CODED NOTES

1. PROPOSED 9'x20' PARKING SPACES AS SHOWN
2. PROPOSED LANDSCAPE AREA
3. PROPOSED BUILDING INSTALL BUILDING PARALLEL TO THE EAST PROPERTY LINE (RIGHT OF WAY)
4. INSTALL 8" WIDE HANDICAP SPACES WITH 8" WIDE UNLOADING SPACE PAINT HANDICAP SYMBOLS AND STRIPING AS SHOWN. PROVIDE WITH HANDICAP SIGN MOUNTED ON BUILDING
5. INSTALL ASPHALT PAVEMENT WITHIN SHADED AREA
6. PROPOSED 6" HIGH CHAIN LINK FENCE WITH BLACK WINDSCREEN.
7. PROPOSED 4" HIGH CHAIN LINK FENCE WITH BLACK WINDSCREEN.
8. PROPOSED DUMPSTER ENCLOSURE
9. PROPOSED 7'-6" X 10'-0" COMPACT PARKING SPACES WITH STORAGE
10. PROPOSED CONCRETE CURBING
11. EXPOSED VARIO WITH FENCING
12. EXISTING SIDEWALK TO REMAIN
13. CONCRETE CURBING TO END WITH A 2" CURB TAPER PER DETAIL ON SHEET C701

# ZONING CHART

ZONING CHART			
	REQUIRED	PROVIDED	
ZONING DISTRICT	C-2, RETAIL	C-2, RETAIL	
USE	VETERINARY HOSPITAL	VETERINARY HOSPITAL	
MINIMUM LOT WIDTH	70'	134'	
MINIMUM DEVELOPMENT AREA	10,000 SF	37,054 SF	
MINIMUM FRONT YARD SETBACK	5'	84.9'	
MINIMUM REAR YARD TO C-DISTRICT	5'	16.3'	
MINIMUM SIDE YARD TO R-DISTRICT	20'	20.0'	
MINIMUM SIDE YARD TO C-DISTRICT	0'	15.3'	
MINIMUM LANDSCAPE WIDTH TO PARKING LOT-ROW	15'	15'	
MINIMUM LANDSCAPE WIDTH TO PARKING LOT-R-DISTRICT	10'	10'	
1 SPACE PER 300 SF	33	36	
YARD COVERAGE		35%	

**PRELIMINARY**  
**DO NOT USE FOR**

DATE 12/14/22  
Schaefer  
Buckley  
Mayfield  
**S M**

## REVISIONS

## OVERALL SITE PLAN

OAK TREE VETERINARY HOSPITAL  
S. TAYLOR RD., CLEV. HTS. OH 44118



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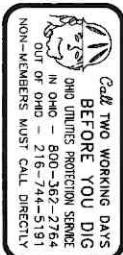
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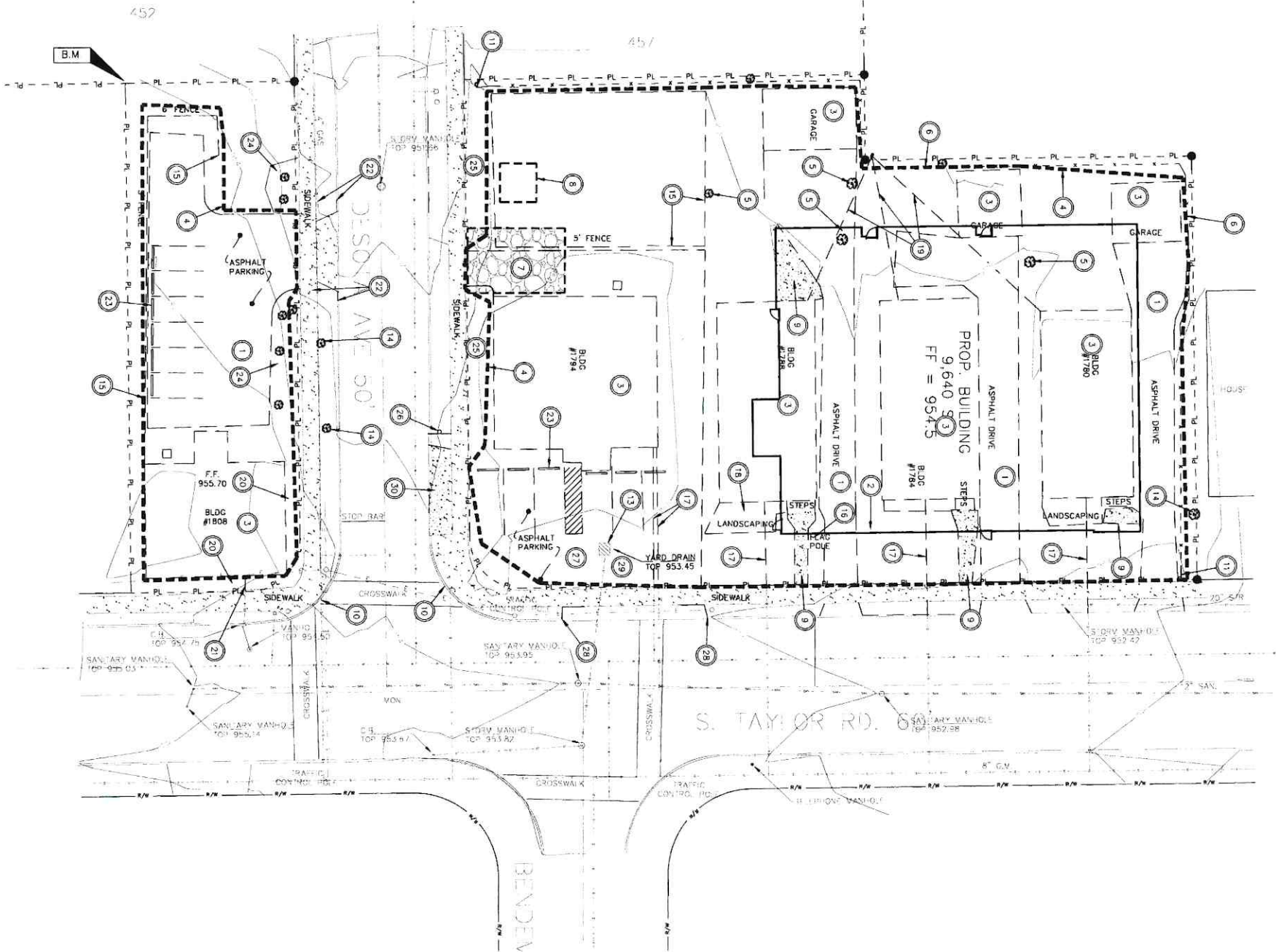
PROJECT NUMBER

DRAWING NUMBER





PLAT VOL 41 PG 17-19



**SITE CLEARING PLAN**

0 20' 40'

SCALE

N

BACKFILL NOTES

ANY FILL OR BACKFILL REQUIRED WITHIN STRUCTURE AND PAVEMENT LIMITS SHOULD BE SELECTED MATERIAL, AS APPROVED BY A QUALIFIED GEOTECHNICAL ENGINEER. FOR ALL FILLING OPERATIONS, THE FOLLOWING SHOULD BE OBSERVED:

1. PRIOR TO USE, THE APPROVED FILL MATERIAL SHOULD BE TESTED AS OUTLINED IN ASTM D-698 TO DETERMINE THE MAXIMUM DRY DENSITY AND OPTIMUM MOISTURE CONTENT FOR SILTY OR COHESIVE SOILS, OR ASTM D-4253 AND D-4254 FOR CLEAN, NON-COHESIVE SOILS. FOR EACH CHANGE IN BORROW MATERIAL, ADDITIONAL TESTS WILL BE REQUIRED.
2. FOR ALL FILL OR BACKFILL USED, THE FILL MATERIAL SHOULD BE PLACED ON THE APPROVED SUBGRADE IN CONTROLLED LIFTS, WITH EACH LIFT COMPACTED TO A STABLE CONDITION, AND TO A MINIMUM OF 98% MAXIMUM DRY DENSITY PER ASTM D-698 AT A MINIMUM OF 4" LIFT THICKNESS. GRANULAR MATERIAL SHOULD BE COMPACTED TO 90% RELATIVE DENSITY PER ASTM D-4254.
3. ALL FILLING OPERATIONS SHOULD BE OBSERVED BY A QUALIFIED SOILS TECHNICIAN WITH FIELD DENSITY TESTS MADE, TO ASSURE COMPACTION TO SPECIFICATION.
4. PROPER MOISTURE CONTROL OF FINE-GRAINED SILTY SOILS IS CRITICAL IN ATTAINING THE REQUIRED COMPACTION. IT SHOULD BE NOTED THAT BOTH IN-SITU SOILS AND NEW MATERIALS COMPOSED OF FINE-GRAINED SOILS ARE SUSCEPTIBLE TO DISTURBANCE BY EXCESSIVE MOISTURE. EXCESSIVE MOISTURE MAY CAUSE THE SOIL TO LOSE ITS STRUCTURE, WHICH SHOULD BE PLANNED TO PREVENT SUCH DISTURBANCE AND THE RESULTING WEAKENING OF THE SUBGRADE SOILS. SUCH PRECAUTIONS WOULD INCLUDE, BUT NOT BE LIMITED TO, GRADING THE SITE TO PREVENT POONDING OF WATER, SEALING THE SUBGRADE SOILS WITH A FILL OF GRANULAR MATERIAL, OR USING WET SUBGRADE SOILS TO ONLY BEFORE OPERATING HEAVY EQUIPMENT ON THE SOIL.

CONSTRUCTION NOTES

1. CONTRACTORS SHALL SCHEDULE THEIR OPERATIONS AND CARRY OUT THE WORK IN A MANNER TO CAUSE THE LEAST DISTURBANCE AND/OR INTERFERENCE WITH NORMAL TRAFFIC FLOW.
2. THE EXISTING UNDERGROUND INFORMATION AND TOPOGRAPHIC INFORMATION IS BASED ON THE PROJECT'S SURVEY. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION AND FOR ANY DAMAGES WHICH OCCUR BY HIS FAILURE TO LOCATE UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF UTILITIES SHOWN ON THE PLANS. HE SHALL IMMEDIATELY NOTIFY THE OWNER AND TAKE THE NECESSARY STEPS TO PROTECT THE FACILITY AND ASSURE THE CONTINUANCE OF SERVICE.
3. ALL CONTRACTORS SHALL MAINTAIN POSITIVE DRAINAGE AT ALL TIMES AND SHALL BACKFILL AND GRADE EXCAVATED AREAS SO AS TO ELIMINATE POONDING ON THE SITE OR ADJACENT PROPERTY.
4. CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF EXISTING ELEVATIONS AT CRITICAL POINTS SUCH AS APPROACHES OF DRAINAGE STRUCTURES, CURBING, ETC. DISCREPANCIES REPORTED TO THE ENGINEER IMMEDIATELY.
5. CONTRACTOR SHALL CONDUCT HIS OPERATIONS SUCH THAT THE FLOW OF ALL EXISTING SEWERS AND LATERALS WILL BE MAINTAINED AT ALL TIMES.
6. ALL DISTURBED AREAS NOT PERMANENTLY IMPROVED SHALL BE SEEDER AND MULCHED.

CODED NOTES

1. REMOVE PAVEMENT.
2. PROPOSED BUILDING FOOTPRINT.
3. EXISTING BUILDING TO BE COMPLETELY REMOVED INCLUDING FOUNDATIONS, BACKFILL WITHIN FOOTPRINT UP TO EXISTING GRADE PER NOTES ON THIS SHEET.
4. LIMITS OF CLEARING AND GRADING = 0.8 ACRES. CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL TREES INCLUDING STUMPS WITHIN THESE LIMITS, UNLESS NOTED OTHERWISE.
5. EXISTING TREE TO BE REMOVED.
6. INSTALL SILT FENCING PER DETAIL ON SHEET C601. REMOVE AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED.
7. INSTALL 70" LONG CONSTRUCTION ENTRANCE PER DETAIL ON SHEET C601.
8. INSTALL CONCRETE WASH-OUT PIT PER DETAIL ON SHEET C601.
9. EXISTING CONCRETE TO BE REMOVED.
10. EXISTING HANDICAP RAMPS TO REMAIN.
11. END OF THE SILT FENCES SHOULD BE BROUGHT UPSLOPE SLIGHTLY SO THAT WATER POONDED BY THE SILT FENCE WILL BE PREVENTED FROM FLOWING AROUND THE ENDS.
12. EXISTING YARD BASIN TO REMAIN.
13. EXISTING TREE TO REMAIN. PROTECT DURING CONSTRUCTION.
14. EXISTING FLAG POLE TO BE REMOVED.
15. EXISTING FENCING TO BE REMOVED.
16. EXISTING FLAG POLE TO BE REMOVED.
17. REMOVE EXISTING GAS AND WATER LATERALS BACK TO VALVES/ RIGHT OF WAY.
18. EXISTING LANDSCAPING TO BE REMOVED.
19. EXISTING POWER LINES TO BE REMOVED.
20. REMOVE CONCRETE SIDEWALK BACK TO CONSTRUCTION JOINT AT RIGHT-OF-WAY.
21. REMOVE DOWNPOUT LATERAL BACK TO RIGHT-OF-WAY AND CAP.
22. REMOVE CONCRETE CURBING/SIDEWALK BACK TO NEAREST CONSTRUCTION JOINT AS NEAREST FORMERLY EXISTING CONCRETE APRON. SEE SITE PLANNING PLAN, SHEET C600 FOR ADDITIONAL INFORMATION.
23. REMOVE CONCRETE WHEEL STOPS (TYPICAL).
24. EXISTING LANDSCAPING BETWEEN SIDEWALK AND EXISTING ASPHALT PARKING LOT TO REMAIN.
25. EXISTING LANDSCAPING TO BE REMOVED.
26. EXISTING SIGN TO REMAIN.
27. REMOVE ASPHALT PARKING LOT BACK TO CONCRETE SIDEWALK.
28. REMOVE SECTIONS OF CONCRETE APRON OUTSIDE OF NEW DRIVE ENTRANCE BACK TO NEAREST CONSTRUCTION JOINT.
29. REMOVE CONCRETE SIDEWALK AND CURBING BACK TO NEAREST CONSTRUCTION JOINT AS NECESSARY FOR NEW CONCRETE DRIVE APRON.
30. REMOVE EXISTING DRIVE APRON AND INSTALL NEW CONCRETE CURBING.

LEGEND	
---	SILT FENCING

Call TWO WORKING DAYS BEFORE YOU DIG

Call 811

Ohio Utility Protection Service

before you dig

**PRELIMINARY**

DO NOT USE FOR CONSTRUCTION

DATE 12/14/22

Schaefer Buckle Mayfield

ARCHITECTS

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DATE 79A21

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C200

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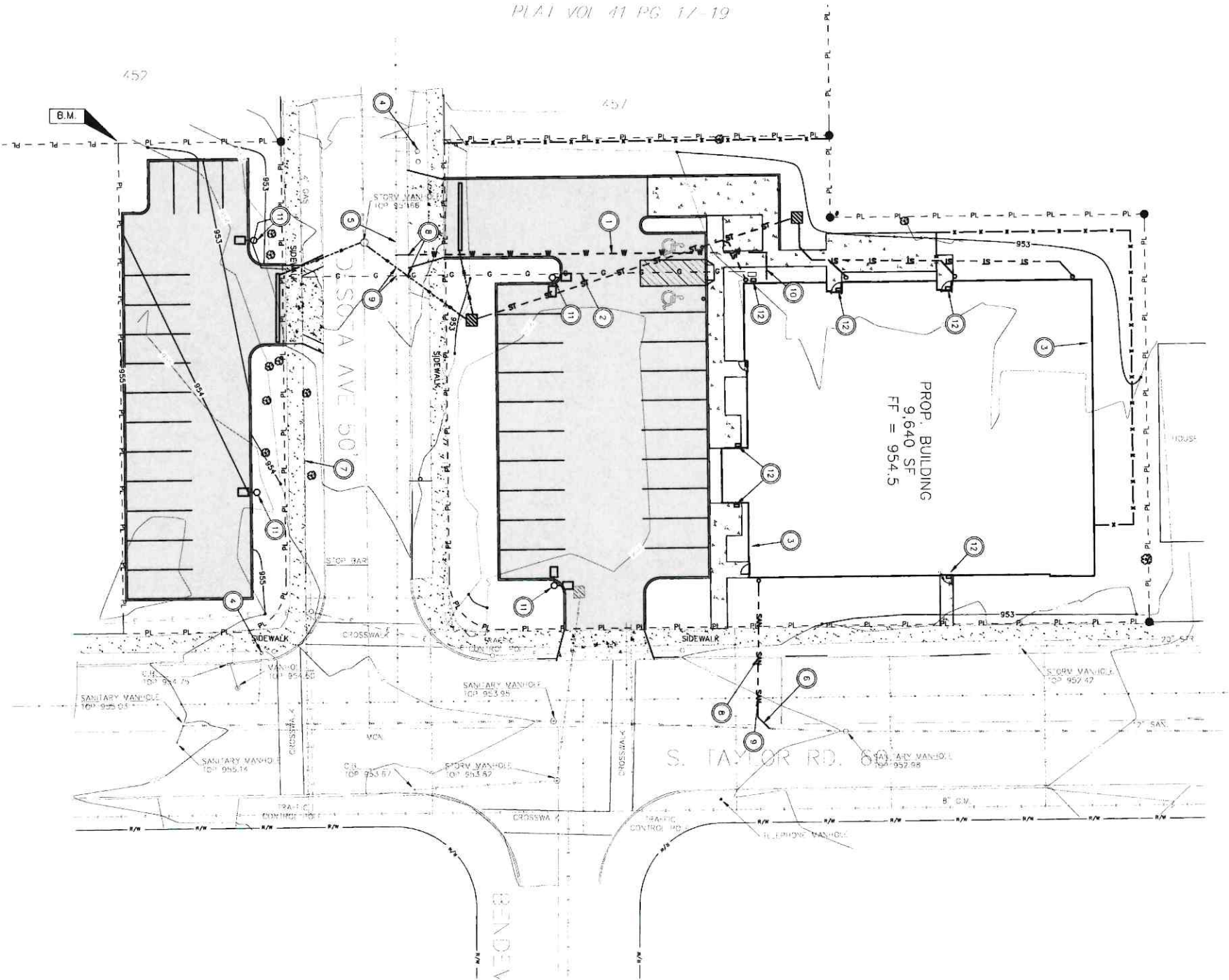
**SITE CLEARING PLAN**

**OAK TREE VETERINARY HOSPITAL**

**S. TAYLOR RD., CLEV. HTS. OH 44118**



PLAT VOL 41 PG 17-19



#### CONSTRUCTION NOTES

1. THE EXISTING INFORMATION IS BASED ON AVAILABLE DATA. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION AND FOR ANY DAMAGES WHICH OCCUR BY HIS FAILURE TO LOCATE OR PRESERVE THESE UTILITIES. IF DURING CONSTRUCTION THERE ARE ANY DISCREPANCIES REPORTED TO THE ENGINEER IMMEDIATELY.
  2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ENTIRE LAYOUT OF THE PROJECT.
  3. ALL CONTRACTORS SHALL MAINTAIN POSITIVE DRAINAGE AT ALL TIMES AND SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AREAS SO AS TO ELIMINATE FLOODING ON THE SITE OR ADJACENT PROPERTY.
  4. EACH CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF EXISTING ELEVATIONS AND LOCATIONS OF UTILITIES. VERIFICATION SHALL BE PERFORMED DURING LAYOUT STAGES AND SIGNIFICANT DISCREPANCIES REPORTED TO THE ENGINEER IMMEDIATELY.
  5. ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF CLEVELAND, BUREAU OF LABOR STANDARDS, SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION AND THE LATEST OHIO DEPARTMENT OF TRANSPORTATION STANDARDS.
  6. ALL PAVEMENT WORK SHALL COMPLY WITH THE LATEST OHIO DEPARTMENT OF TRANSPORTATION STANDARDS.
  7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRENCHING, BACKFILLING AND PIPE INSTALLATION, PIPE MATERIAL AND TAP CONNECTION.
- CLEARANCES:
- ALL 18 INCH MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED FROM THE EDGE OF ALL WATER PIPE TO THE EDGE OF ALL STORM SEWER PIPE.
- ALL 4 FOOT MINIMUM HORIZONTAL CLEARANCE SHALL BE MAINTAINED FROM THE EDGE OF ALL WATER PIPE TO THE EDGE OF ALL STORM SEWER PIPES.
- ALL 10 FOOT MINIMUM HORIZONTAL CLEARANCE SHALL BE MAINTAINED FROM THE EDGE OF ALL WATER PIPE TO THE EDGE OF ALL SANITARY SEWER OR FORCE MAIN PIPES.
- ALL 18 INCH MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED FROM THE EDGE OF ALL WATER PIPE TO THE EDGE OF ALL SANITARY SEWER PIPE.

#### CODED NOTES

1. INSTALL 2" WATER LINE TO BUILDING PER CITY OF CLEVELAND WATER DEPARTMENT.
2. INSTALL 2" PRESSURE GAS LINE WITH VALVE AT RIGHT OF WAY AS SHOWN.
3. NEW BUILDING FOOTPRINT.
4. EXISTING FIRE HYDRANT TO REMAIN.
5. EXISTING PUBLIC WATER MAIN.
6. INSTALL 4" SANITARY LATERAL AS SHOWN AND END WITH A CLEANOUT AT INVERT = 851.0. COORDINATE WORK WITH PLUMBING CONTRACTOR.
7. EXISTING GAS MAIN.
8. REMOVE AND REPLACE PAVEMENT AND CURB AND GUTTER AS NECESSARY FOR INSTALLATION OF NEW UTILITIES. WORK IS TO COMPLY WITH CITY OF CLEVELAND HEIGHTS STANDARDS.
9. CAUTION EXISTING UTILITY CROSSING.
10. END WATER LATERAL AT 5' FROM BUILDING WITH CAP. COORDINATE WORK WITH THE PLUMBING CONTRACTOR.
11. PROPOSED PARKING LOT LIGHT POLE WITH SHIELD.
12. PROPOSED WALL PACK LIGHT WITH SHIELD.

PRELIMINARY

DO NOT USE FOR CONSTRUCTION

DATE 12/14/22

Schaeffer  
Buckley  
S M Mayfield

REVISIONS

## SITE UTILITY PLAN

OAK TREE VETERINARY HOSPITAL  
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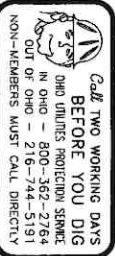
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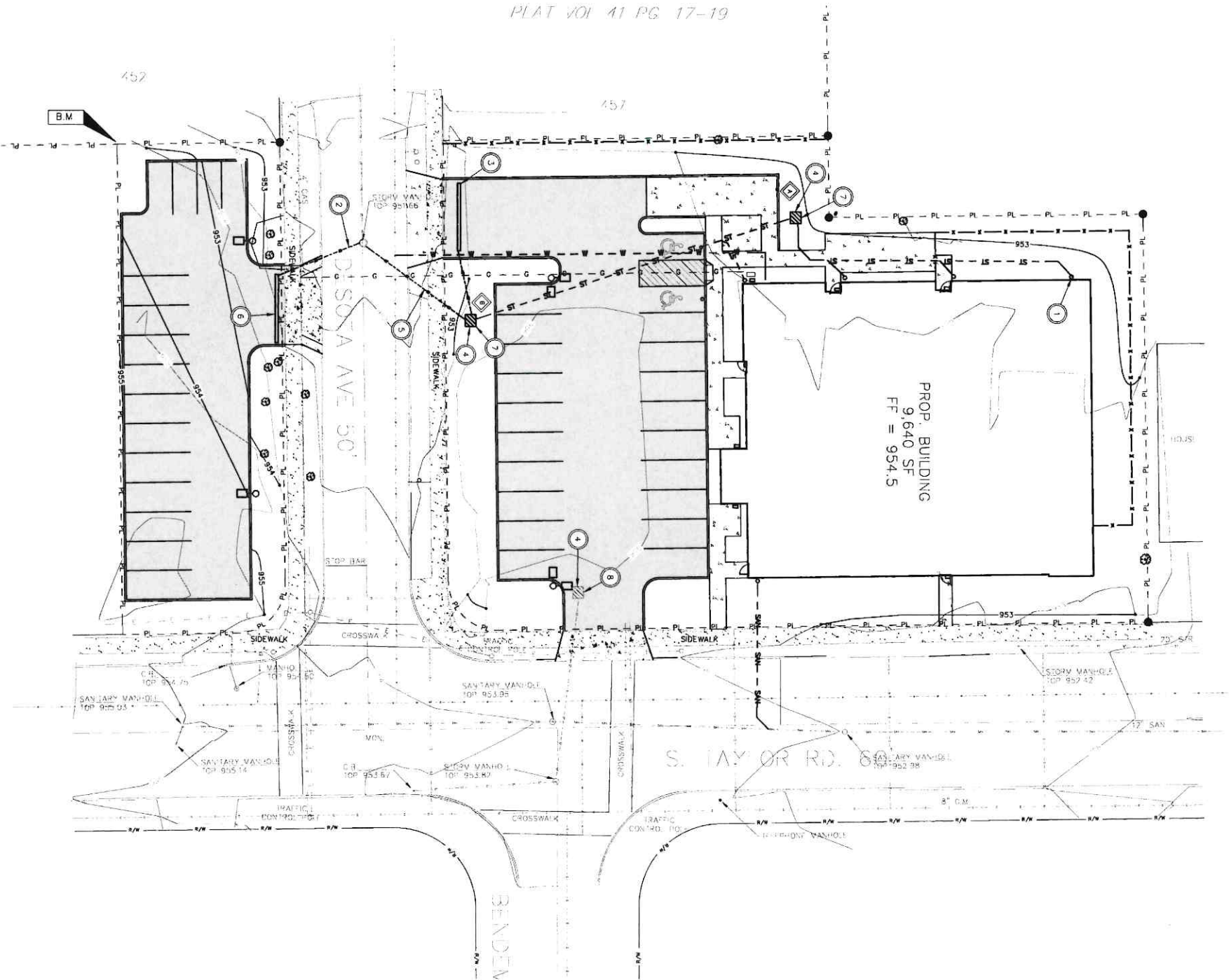
C300

DRAWING NUMBER





PLAT VOL 41 PG 17-19



SITE GRADING AND STORM SEWER PLAN



CONSTRUCTION NOTES

1. CONTRACTORS SHALL SCHEDULE THEIR OPERATIONS AND CARRY OUT THE WORK IN A MANNER TO CAUSE THE LEAST DISTURBANCE AND/OR INTERFERENCE WITH NORMAL TRAFFIC FLOW.
2. THE EXISTING UNDERGROUND INFORMATION AND TOPOGRAPHIC INFORMATION IS BASED ON RECORD DRAWINGS AND FIELD SURVEY. CONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION AND FOR ANY DAMAGES WHICH OCCUR BY HIS FAILURE TO LOCATE OR PRESERVE THESE UTILITIES. IF DURING CONSTRUCTION OPERATIONS, A CONTRACTOR ENCOUNTERS UTILITIES IN LOCATION OTHER THAN THOSE SHOWN ON THE RECORD DRAWINGS, HE SHALL STOP WORK IMMEDIATELY AND NOTIFY THE ENGINEER TO PROTECT THE FACILITY AND ASSURE THE CONTINUANCE OF SERVICE.
3. ALL CONTRACTORS SHALL MAINTAIN POSITIVE DRAINAGE AT ALL TIMES AND SHALL BE RESPONSIBLE FOR EXCAVATED AREAS SO AS TO ELIMINATE POONDING ON THE SITE, OR ADJACENT PROPERTY.
4. CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF EXISTING ELEVATIONS AT CRITICAL POINTS SUCH AS APPROACHES OF DRAINAGE STRUCTURES, CURBING, ETC. CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF EXISTING ELEVATIONS AND DISCREPANCIES REPORTED TO THE ENGINEER IMMEDIATELY.
5. CONTRACTOR SHALL CONDUCT HIS OPERATIONS SUCH THAT THE FLOW OF ALL EXISTING SEWERS AND LATERALS WILL BE MAINTAINED AT ALL TIMES.

CODED NOTES

1. INSTALL 6" RAIN LEADER AS SHOWN (TYPICAL). EXTEND UP TO 1' ABOVE GRADE AND END WITH BOOT THAT MATCHES DOWNSPOUT SIZE. INSTALL WITH INVERT AT DOWNSPOUT OR 1/8" BELOW GRADE FINISHED GRADE. COORDINATE EXACT LOCATIONS OF DOWN SPOUTS WITH ARCHITECTURAL PLANS.
2. INSTALL 8" STORM SEWER AND TIE INTO EXISTING MANHOLE. REMOVE AND REPLACE PAVEMENT IN KIND SAW CUT TO FULL DEPTH PRIOR TO REMOVAL.
3. INSTALL TRENCH DRAIN "X" PER DETAIL ON SHEET C701.
4. INSTALL INLET BASIN. INSTALL INLET PROTECTION AROUND BASIN AND REMOVE AT THE END OF THE PROJECT.
5. INSTALL 12" STORM SEWER AND TIE INTO EXISTING MANHOLE. REMOVE AND REPLACE PAVEMENT IN KIND SAW CUT TO FULL DEPTH PRIOR TO REMOVAL.
6. INSTALL TRENCH DRAIN "B" PER DETAIL ON SHEET C701.
7. PROPOSED YARD BASIN.
8. EXISTING CATCH BASIN.

SEWER SUMMARY

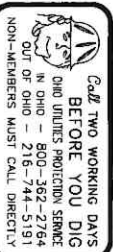
PROPOSED YARD BASIN "X"	PROPOSED YARD BASIN "B"
PROP. CASTING = 952.6	PROP. CASTING = 952.8
PROP. 12" INV (S) = 949.8	PROP. 12" INV (SW) = 949.8

LEGEND



NOTE:

AN EXISTING BUILDING AND PAVED PARKING LOT LOCATED ON THE SAME PARCEL AS THE PROPOSED PARKING LOT HAVE BEEN REMOVED. SEE OUTLINE ON SHEET C2.0. THIS PROJECT WILL RESULT IN A REDUCTION IN SITE STORMWATER RUNOFF AS THE ONSITE IMPERVIOUS AREA WILL BE REDUCED.



PRELIMINARY

DO NOT USE FOR CONSTRUCTION

DATE 12/14/22

Schaeffer  
Buckley  
SM Mayfield

REVISIONS

SITE GRADING AND STORM SEWER  
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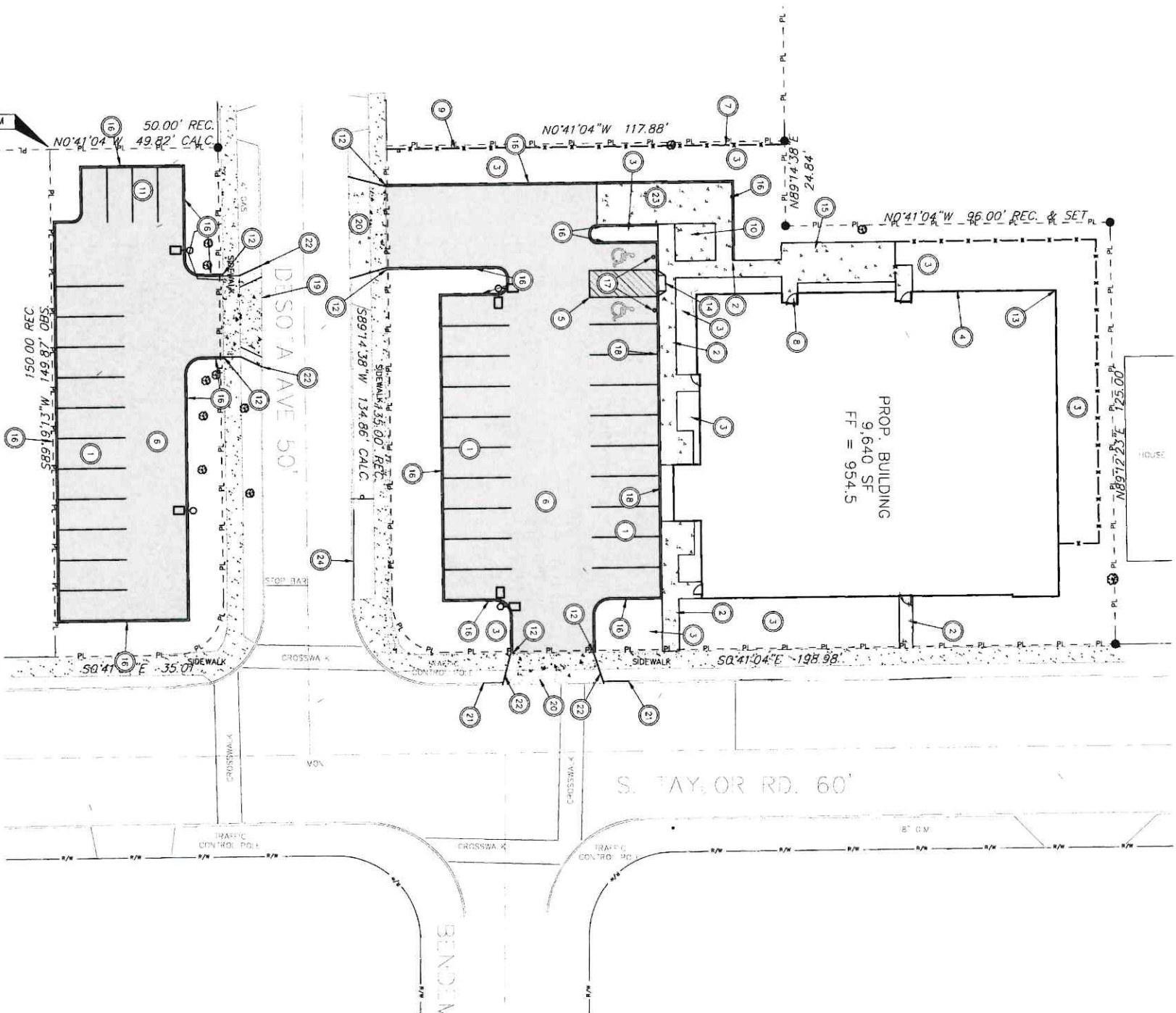
79A21

PROJECT NUMBER

C400

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OUT OF OHIO - 216-744-5191  
NON-MEMBERS MUST CALL DIRECTLY

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SITE PAVING PLAN  
0 20 40  
SCALE  
N

#### PLAN NOTES

1. CONTRACTORS SHALL SCHEDULE THEIR OPERATIONS AND CARRY OUT THE WORK IN A MANNER TO CAUSE THE LEAST DISTURBANCE AND/OR INTERFERENCE WITH NORMAL FLOW OF THE TRAFFIC.
2. ALL PAVEMENT SHALL BE GOVERNED BY THE LATEST EDITION OF ODOT CONSTRUCTION AND MATERIAL SPECIFICATIONS.
3. ALL POINTS OF CONNECTION OF PROPOSED IMPROVEMENTS TO EXISTING CONDITIONS SHALL BE UNCOVERED AND ELEVATIONS VERIFIED BY FIELD CHECK BEFORE ANY CONSTRUCTION BEGINS.
4. NON-HANDICAP PARKING SPACES ARE TO BE STRIPPED 9'X20' UNLESS OTHERWISE NOTED. COORDINATE PAINT COLOR WITH OWNER.
5. CONTRACTOR IS TO REGRADE TO MATCH EXISTING ELEVATIONS. RESEED AND MULCH IN ALL DISTURBED AREAS.
6. CAD FILES OF THE LAYOUT WILL BE PROVIDED BY THE ENGINEER TO THE CONTRACTOR FOR HIS USE IN LAYING OUT THE SITE.

#### CODED NOTES

1. STRIPE 9'X20' PARKING SPACES AS SHOWN
2. INSTALL 5' WIDE CONCRETE SIDEWALK
3. PROPOSED LANDSCAPE AREA
4. INSTALL BUILDING PARALLEL TO THE EAST PROPERTY LINE (RIGHT OF WAY)
5. INSTALL 8' WIDE HANDICAP SPACES WITH 6' UNLOADING SPACE. PAINT HANDICAP SYMBOL AND STRIPING AS SHOWN. PROVIDE WITH HANDICAP SIGN.
6. INSTALL ASPHALT PAVEMENT WITHIN SHADED AREA
7. PROPOSED 6' HIGH CHAIN LINK FENCE WITH BLACK WINDSCREEN. INSTALL 1' OFFSET FROM PROPERTY LINE.
8. INSTALL FIRST FLOOR SLAB AT DOOR PER DETAILS ON THE ARCHITECTURAL PLANS (TYPICAL)
9. PROPOSED 35' OF 4' HIGH CHAIN LINK FENCE WITH BLACK WINDSCREEN. INSTALL 1' OFFSET FROM PROPERTY LINE.
10. INSTALL 8'X12' CONCRETE DUMPSTER PAD WITH ENCLOSURE. SEE DETAILS ON SHEET C700.
11. INSTALL 4' 7'-6" X 10'-0" COMPACT PARKING SPACE.
12. END CURBING WITH A 2' CURB TAPER AT SIDEWALK.
13. OFFSET CORNER OF THE BUILDING AT 20'-0" FROM WEST PROPERTY LINE.
14. INSTALL HANDICAP RAMP
15. INSTALL CONCRETE SIDEWALK
16. INSTALL CURBING PER DETAIL ON SHEET C701.
17. INSTALL HANDICAP SIGN PER DETAIL ON SHEET C700.
18. INSTALL INTEGRAL CONCRETE SIDEWALK AND CURB PER DETAIL ON SHEET C701.
19. EXTEND CONCRETE APRON TO BE 24' WIDE AT THE SIDEWALK AND 30' WIDE AT THE CURB LINE.
20. INSTALL CONCRETE APRON WITHIN RIGHT-OF-WAY WITH 24' WIDTH AT SIDEWALK AND 30' WIDTH AT CURB LINE. INSTALL NEW CONCRETE APRON TO MEET REMAINING SECTIONS OF SIDEWALK AND CURBING.
21. INSTALL NEW CURBING ALONG S. TAYLOR STREET TO MATCH NEW ENTRANCE LIMITS.
22. INSTALL NEW CONCRETE APRON SECTION TO ALIGN WITH REMAINING APRON.
23. INSTALL 12' CONCRETE APRON
24. INSTALL NEW CURBING WITH DEMO ENTRANCE.

#### SITE LAYOUT STATIONING

POINT #	DESCRIPTION	ELEVATION
1	CORNER OF PAVEMENT	
2	CORNER OF PAVEMENT	
3	CORNER OF PAVEMENT	
4	END OF 2' RADIUS	
5	END OF 2' RADIUS	
6	CORNER OF PAVEMENT	
7	CORNER OF PAVEMENT	
8	CORNER OF PAVEMENT	
9	CORNER OF PAVEMENT	
10	CORNER OF PAVEMENT	
11	CORNER OF PAVEMENT	

\*ELEVATIONS ARE TO TOP OF PAVEMENT WHERE APPLICABLE.  
HP = HIGH POINT LP = LOW POINT

#### LEGEND

	PROPOSED ASPHALT PAVEMENT
	PROPOSED CONCRETE SIDEWALK

PRELIMINARY  
DO NOT USE FOR  
CONSTRUCTION

Schaeffer  
Bluckley  
S M  
Wayfield

REVISIONS

DATE	12/14/22
CONSTRUCTION	
DATE	
CONSTRUCTION	
DATE	
CONSTRUCTION	

SITE PAVEMENT PLAN  
OAK TREE VETERINARY HOSPITAL  
S. TAYLOR RD., CLEV. HTS. OH 44118



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79A21

PROJECT NUMBER

C500

DRAWING NUMBER



STABILIZED CONSTRUCTION ENTRANCE

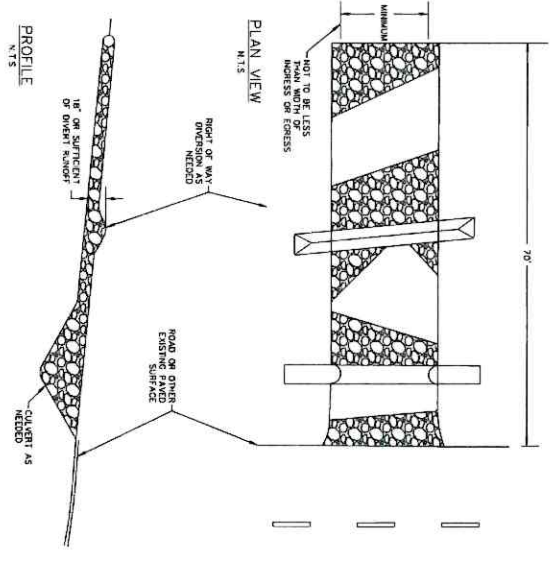
INSTALLATION

1. CONSTRUCT PRIOR TO UNDOING LAND DISTURBANCE.
2. CONSTRUCT WASHOUT PIT FROM 2'-6" TYPICAL DRIVE PITS 1'-10" INTO THE GROUND AT EACH CORNER DIRECTLY AGAINST THE CONCRETE BOX AND ASSURE THE TOP FRAME WITH AN OVERLAP JOINT SHOWS BELOW THE TOP FRAME.
3. THE WASHOUT PIT SHALL BE 10'-11" WIDE AND 10'-11" DEEP AND SHALL BE CONSTRUCTED TO THE FINISH GRADE.
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MINIMUM	MINIMUM	MINIMUM	MINIMUM
MINIMUM PAVEMENT STRENGTH	80 PSI	MINIMUM EXIST. STRENGTH	50 PSI
MINIMUM EXIST. STRENGTH	50 PSI	MINIMUM EXIST. STRENGTH	20 PSI
MINIMUM EXIST. STRENGTH	20 PSI	MINIMUM EXIST. STRENGTH	20 PSI
MINIMUM EXIST. STRENGTH	20 PSI	MINIMUM EXIST. STRENGTH	20 PSI
MINIMUM EXIST. STRENGTH	20 PSI	MINIMUM EXIST. STRENGTH	20 PSI

REMOVAL

1. REMOVE THE WASHOUT PIT PRIOR TO UNDOING LAND DISTURBANCE.
2. REMOVE THE WASHOUT PIT PRIOR TO UNDOING LAND DISTURBANCE.
3. REMOVE THE WASHOUT PIT PRIOR TO UNDOING LAND DISTURBANCE.
4. REMOVE THE WASHOUT PIT PRIOR TO UNDOING LAND DISTURBANCE.
5. REMOVE THE WASHOUT PIT PRIOR TO UNDOING LAND DISTURBANCE.
6. REMOVE THE WASHOUT PIT PRIOR TO UNDOING LAND DISTURBANCE.



SILT FENCE

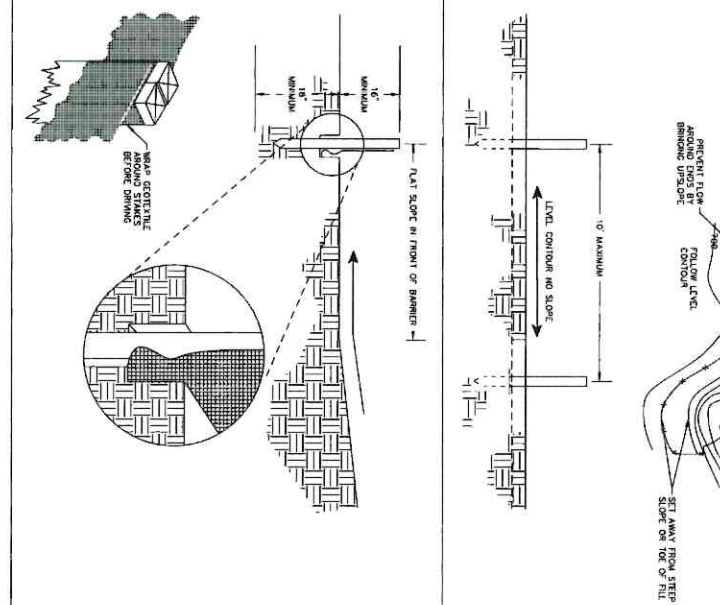
INSTALLATION

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SLOPE LENGTH	SLOPE LENGTH	SLOPE LENGTH	SLOPE LENGTH
0-25	250	25-100	125
25-100	125	100-200	100
100-200	100	200-325	75
200-325	75	325-500	50
500-750	25	750-1000	25

REMOVAL

1. REMOVE THE SILT FENCE PRIOR TO UNDOING LAND DISTURBANCE.
2. REMOVE THE SILT FENCE PRIOR TO UNDOING LAND DISTURBANCE.
3. REMOVE THE SILT FENCE PRIOR TO UNDOING LAND DISTURBANCE.
4. REMOVE THE SILT FENCE PRIOR TO UNDOING LAND DISTURBANCE.
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6. REMOVE THE SILT FENCE PRIOR TO UNDOING LAND DISTURBANCE.



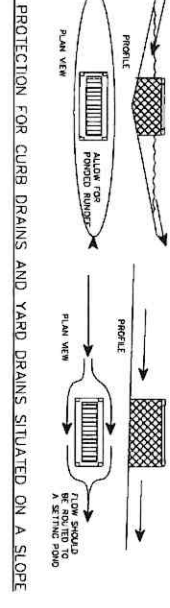
YARD DRAIN INLET PROTECTION

INSTALLATION

1. CONSTRUCT PRIOR TO UNDOING LAND DISTURBANCE.
2. CONSTRUCT WASHOUT PIT FROM 2'-6" TYPICAL DRIVE PITS 1'-10" INTO THE GROUND AT EACH CORNER DIRECTLY AGAINST THE CONCRETE BOX AND ASSURE THE TOP FRAME WITH AN OVERLAP JOINT SHOWS BELOW THE TOP FRAME.
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REMOVAL

1. REMOVE THE YARD DRAIN INLET PRIOR TO UNDOING LAND DISTURBANCE.
2. REMOVE THE YARD DRAIN INLET PRIOR TO UNDOING LAND DISTURBANCE.
3. REMOVE THE YARD DRAIN INLET PRIOR TO UNDOING LAND DISTURBANCE.
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5. REMOVE THE YARD DRAIN INLET PRIOR TO UNDOING LAND DISTURBANCE.
6. REMOVE THE YARD DRAIN INLET PRIOR TO UNDOING LAND DISTURBANCE.



INLET PROTECTION FOR CURB DRAINS AND YARD DRAINS SITUATED ON A SLOPE

INSTALLATION

1. CONSTRUCT PRIOR TO UNDOING LAND DISTURBANCE.
2. CONSTRUCT WASHOUT PIT FROM 2'-6" TYPICAL DRIVE PITS 1'-10" INTO THE GROUND AT EACH CORNER DIRECTLY AGAINST THE CONCRETE BOX AND ASSURE THE TOP FRAME WITH AN OVERLAP JOINT SHOWS BELOW THE TOP FRAME.
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REMOVAL

1. REMOVE THE INLET PROTECTION PRIOR TO UNDOING LAND DISTURBANCE.
2. REMOVE THE INLET PROTECTION PRIOR TO UNDOING LAND DISTURBANCE.
3. REMOVE THE INLET PROTECTION PRIOR TO UNDOING LAND DISTURBANCE.
4. REMOVE THE INLET PROTECTION PRIOR TO UNDOING LAND DISTURBANCE.
5. REMOVE THE INLET PROTECTION PRIOR TO UNDOING LAND DISTURBANCE.
6. REMOVE THE INLET PROTECTION PRIOR TO UNDOING LAND DISTURBANCE.



CONCRETE WASHOUT AREAS

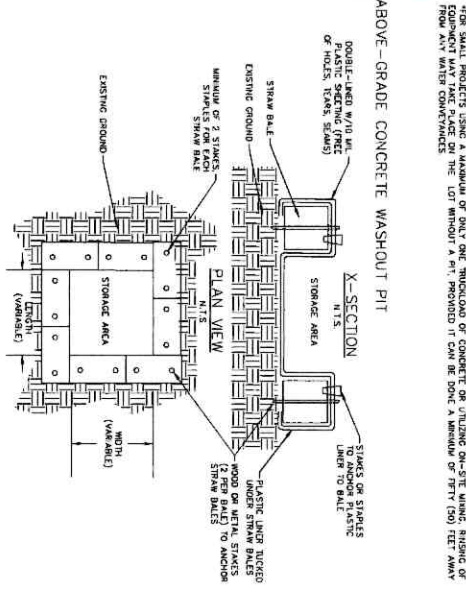
INSTALLATION

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MINIMUM EXIST. STRENGTH	20 PSI	MINIMUM EXIST. STRENGTH	20 PSI
MINIMUM EXIST. STRENGTH	20 PSI	MINIMUM EXIST. STRENGTH	20 PSI

REMOVAL

1. REMOVE THE CONCRETE WASHOUT AREA PRIOR TO UNDOING LAND DISTURBANCE.
2. REMOVE THE CONCRETE WASHOUT AREA PRIOR TO UNDOING LAND DISTURBANCE.
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5. REMOVE THE CONCRETE WASHOUT AREA PRIOR TO UNDOING LAND DISTURBANCE.
6. REMOVE THE CONCRETE WASHOUT AREA PRIOR TO UNDOING LAND DISTURBANCE.



ABOVE-GRADE CONCRETE WASHOUT PIT

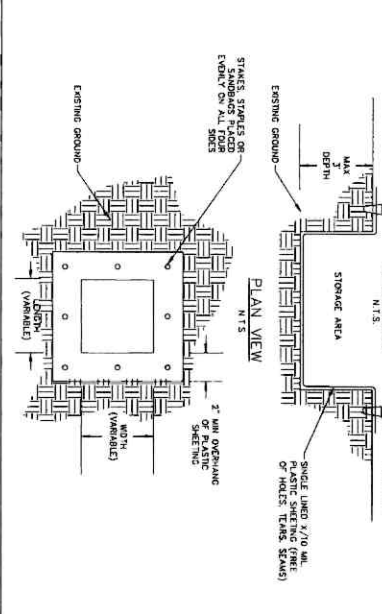
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REMOVAL

1. REMOVE THE ABOVE-GRADE CONCRETE WASHOUT PIT PRIOR TO UNDOING LAND DISTURBANCE.
2. REMOVE THE ABOVE-GRADE CONCRETE WASHOUT PIT PRIOR TO UNDOING LAND DISTURBANCE.
3. REMOVE THE ABOVE-GRADE CONCRETE WASHOUT PIT PRIOR TO UNDOING LAND DISTURBANCE.
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5. REMOVE THE ABOVE-GRADE CONCRETE WASHOUT PIT PRIOR TO UNDOING LAND DISTURBANCE.
6. REMOVE THE ABOVE-GRADE CONCRETE WASHOUT PIT PRIOR TO UNDOING LAND DISTURBANCE.

BELOW-GRADE CONCRETE WASHOUT PIT



PRELIMINARY  
DO NOT USE FOR  
CONSTRUCTION  
DATE 12/14/2022  
Schaeffer  
Buckley  
SM Mayfield

EROSION CONTROL DETAILS  
OAK TREE VETERINARY HOSPITAL  
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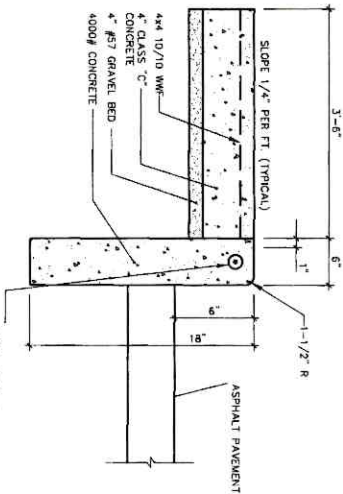
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DATE  
79A21  
PROJECT NUMBER  
C601  
DRAWING NUMBER



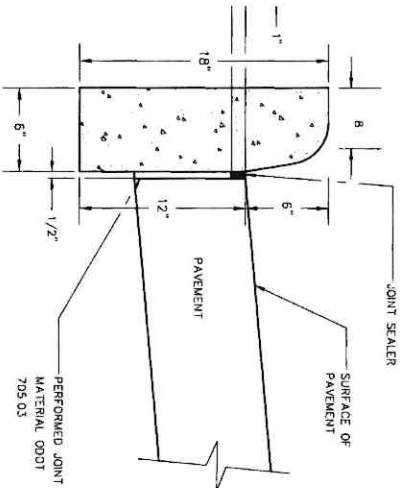


**PRELIMINARY**  
DO NOT USE FOR  
CONSTRUCTION  
DATE 12/14/22  
Schesser  
Buckley  
Mayfield  
**SM**  
REVISIONS



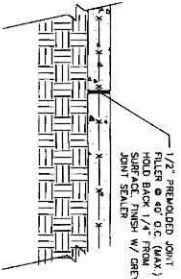


INTEGRATED CONCRETE SIDEWALK  
AND CONCRETE CURB

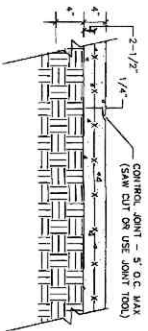


ODOT TYPE 6 CURB DETAIL

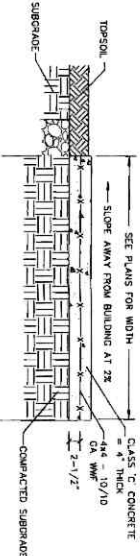
N.T.S.



EXPANSION JOINT

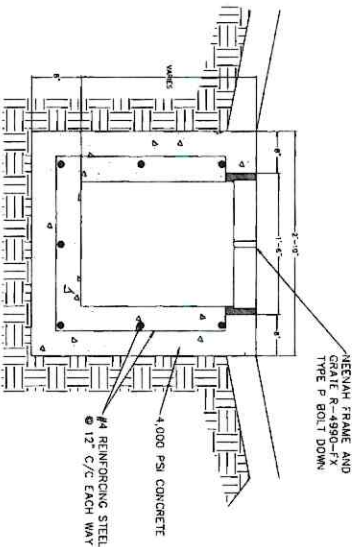


CONTROL JOINT



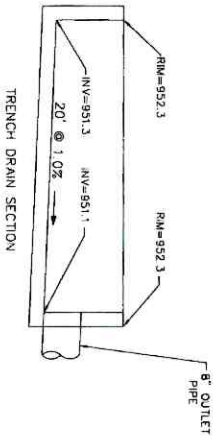
TYPICAL CONCRETE WALK DETAIL

N.T.S.

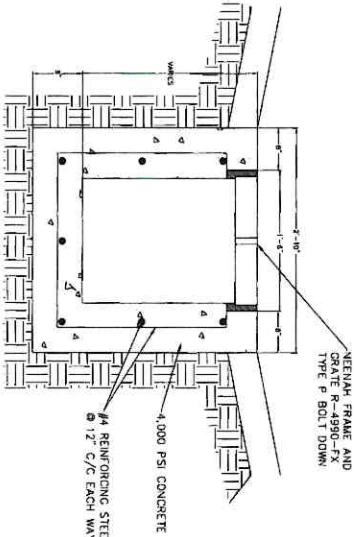


TRENCH DRAIN 'A'

N.T.S.

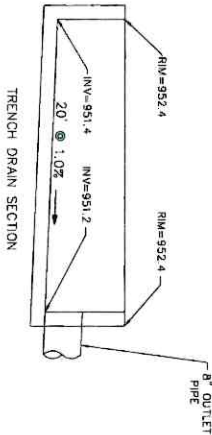


TRENCH DRAIN SECTION

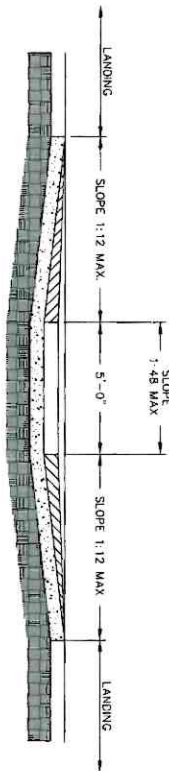
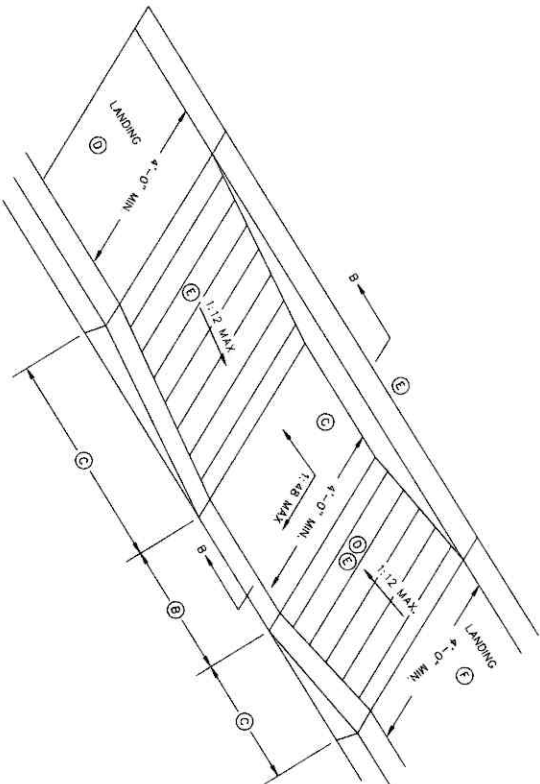


TRENCH DRAIN 'B'

N.T.S.



TRENCH DRAIN SECTION



SECTION A-A

CURB RAMP TYPE K  
PARALLEL (RAMP) NEW CONSTRUCTION

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CONSTRUCTION  
DATE 12/14/22  
Schesser  
Buckley  
SM Mayfield

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79A21

PROJECT NUMBER

C701

DRAWING NUMBER

SITE DETAILS  
OAK TREE VETERINARY HOSPITAL  
S. TAYLOR RD., CLEV. HTS. OH 44118





3 LANDSCAPE PLAN  
L1100 SCALE: 1/8" = 1'-0"



LANDSCAPE SYMBOLS:

- INDICATES GRASS AREAS, SEE SPECIFICATIONS FOR SEED MIXTURE (ALL DISTURBED AREAS ARE TO BE SEED)
- INDICATES DOUBLE SHREDED DIED HARDWOOD MULCH BOUNDARIES

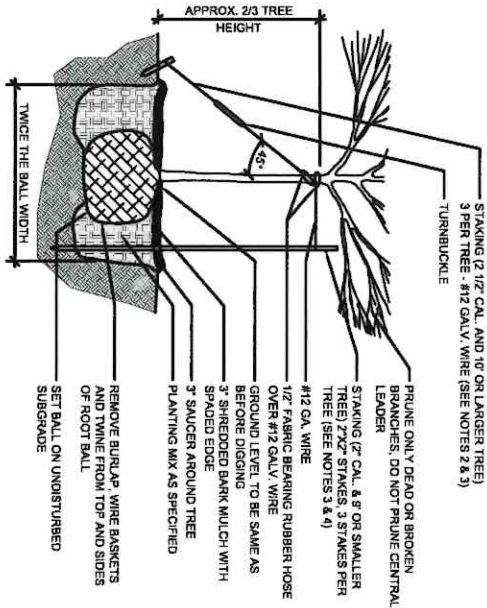
PLANT LIST:

KEY	BOTANICAL NAME	COMMON NAME	DIE	QTY	SIZE	MIN. T/TW	REMARKS	NATIVE
DECIDUOUS TREES								
AG	AMELANCHIER GRAND	*AUTUMN BRILLIANCE*	D	8	-	8-17'	B&B MULTISTEM	Y
GT	GLEISYIA TRIACANTHOS	INERMIS	D	7	2.5' CAL.	-	B&B	Y
SHRUBS								
BG	BUXUS X "GREEN VELVET"	BOXWOOD	D	85	18"	-	CONT.	N
JU	JUNIPERUS SABINA "BUFFALO"	BUFFALO JUNIPER	E	84	15"	-	CONT.	Y

GENERAL LANDSCAPING NOTES:

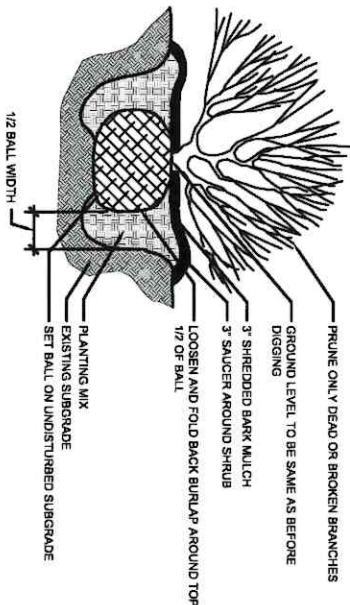
1. LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
2. SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON ALL DRAWINGS.
3. ALL PLANTS SHALL BE DELIVERED TO THE PROJECT SITE BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN OR EQUIVALENT.
4. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED BY THE ARCHITECT.
5. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANTS ORIGINAL GRADE BEFORE DIGGING.
6. ALL PLANTS SHALL BE BALLED AND WRAPPED OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING.
7. WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING.
8. THE PLANTS GROWN STOCK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL SHALL BE REMOVED AT THE TIME OF PLANTING.
9. THE PLANTS GROWN STOCK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL SHALL BE REMOVED AT THE TIME OF PLANTING.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL SHALL BE REMOVED AT THE TIME OF PLANTING.
11. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR MORE OFTEN, IF NECESSARY, UNTIL SUSTAINABLE COMPLETION OF PROJECT.
12. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

- NOTES:
1. REMOVE BURLAP WIRE BASKETS AND TWINE FROM TOP AND SIDES OF ROOT BALL. CENTER TREE IN HOLE SET TOP OF BALL 1" ABOVE FINISH GRADE.
  2. STAKING & GUYING TREES IS OPTIONAL, HOWEVER THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLED TREES STAYING PLUMB AND STABLE. IF A NON-STAKED TREE MOVES OUT OF PLUMB DURING THE WARRANTY PERIOD AND THE CONTRACTOR SHALL STAKEN IT AND STAKE THE TREE AT NO ADDITIONAL CHARGE TO THE OWNER.
  3. THE CONTRACTOR SHALL RETURN TO REMOVE ALL STAKES, GUYS AND ASSOCIATED HARDWARE ON THE TREES ONE YEAR AFTER STAKING OR PER THE DIRECTION OF THE OWNER OR ARCHITECT.



2 TYP. TREE PLANTING DETAIL  
L1100 SCALE: 3/8\"/>

- NOTES:
1. PLANTING MIX TO CONSIST OF: 1\"/>



1 SHRUB PLANTING DETAIL  
L1100 SCALE: 3/8\"/>

REVISIONS

NO.	DATE	DESCRIPTION

LANDSCAPE PLAN  
OAK TREE VETERINARY HOSPITAL  
1794 S. TAYLOR RD., CLEV. HTS. OH



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PROJECT NUMBER

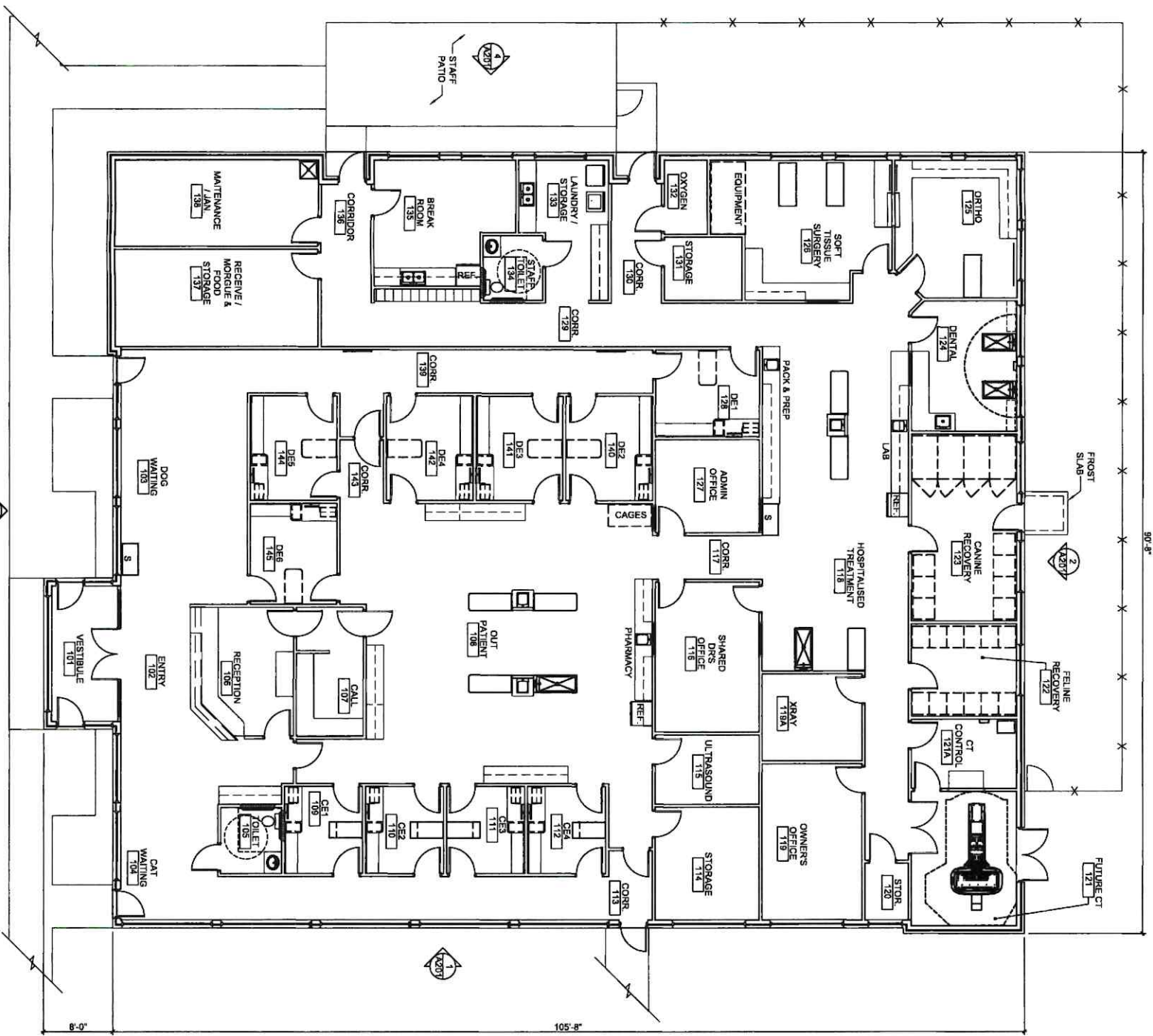
L1100

DRAWING NUMBER



GENERAL NOTES

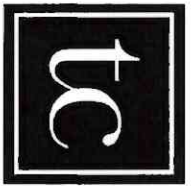
1. EXTERIOR DIMENSIONS ARE FROM FACE OF BRICK TO FACE OF BRICK



1 FLOOR PLAN  
A101 SCALE 1/8"=1'-0"



FLOOR PLAN  
OAK TREE VETERINARY HOSPITAL  
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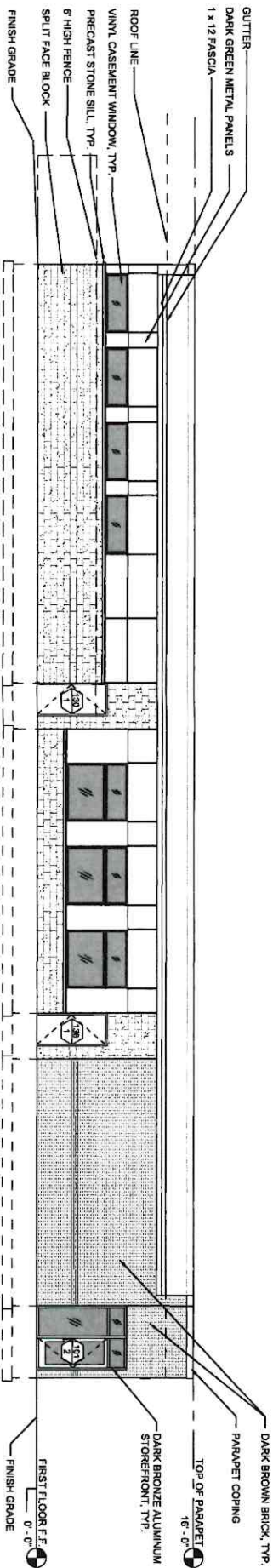
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DATE  
12/14/2022

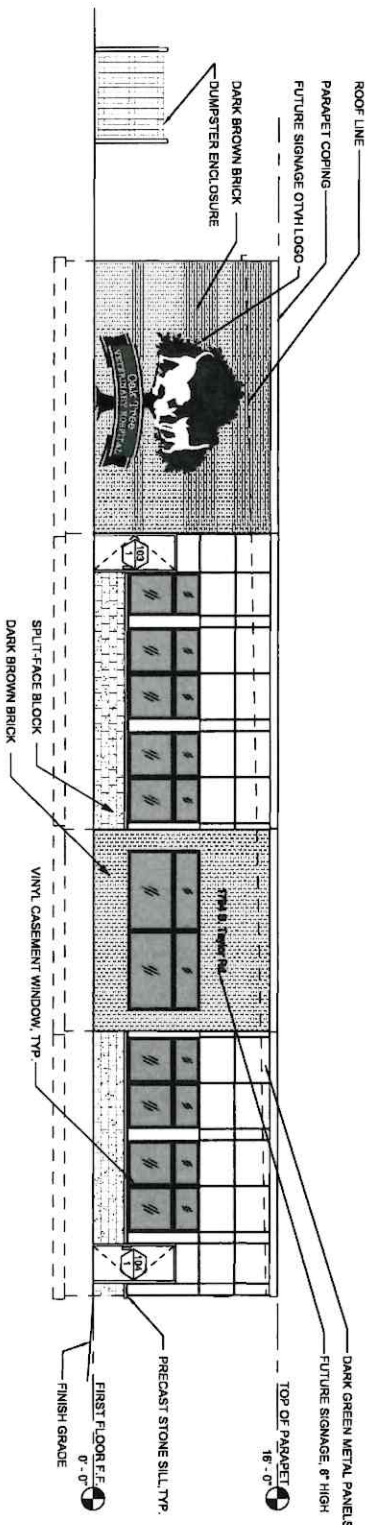
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A101

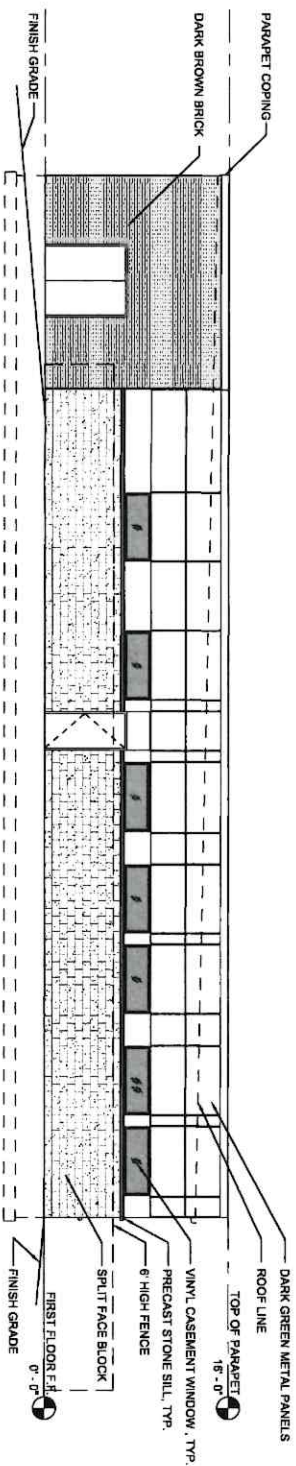




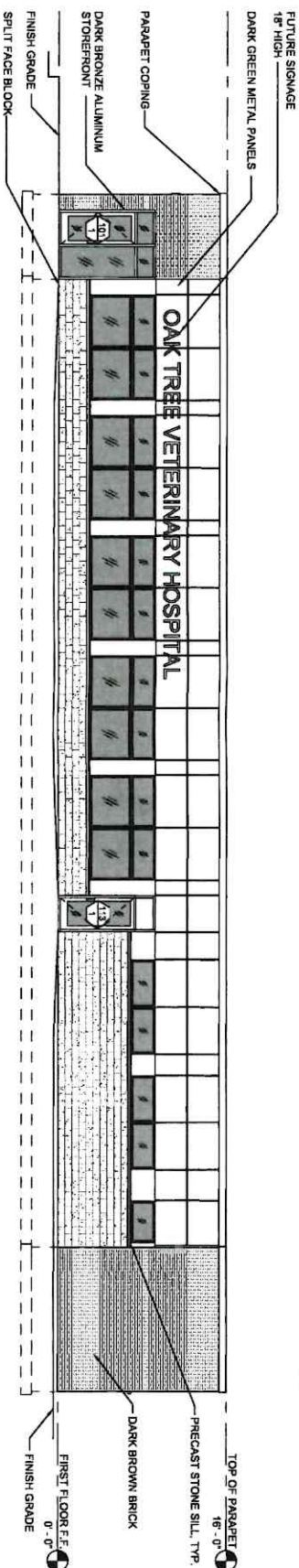
4 WEST ELEVATION  
A201 SCALE 1/8"=1'-0"



3 SOUTH ELEVATION  
A201 SCALE 1/8"=1'-0"



2 NORTH ELEVATION  
A201 SCALE 1/8"=1'-0"



1 EAST ELEVATION  
A201 SCALE 1/8"=1'-0"



REVISIONS

## EXTERIOR ELEVATIONS

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PROJECT NUMBER

A201

DRAWING NUMBER





1 3D RENDERING  
A700 SCALE NTS

REVISIONS

3D RENDERING

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A700

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