

**PROJECT DESCRIPTION:** Demolish existing shed attached to the west end of the existing garage. Design a new storage shed and art studio extension to the existing garage. Taper the roof over the shed from north to south and design a Dutch Colonial gable (to match the existing home) over the studio. The studio will include a toilet room/ dog wash and a utility sink, and it will be heated and cooled with a Mitsubishi split system. The storage shed will be heated and cooled with its own split system.

50,000 SF LOT  
EXISTING: 2,500 SF HOUSE + GARAGE  
PROPOSED: 1,004 SF STUDIO + STORAGE  
ACCESSORY BUILDING (STUDIO & GARAGE) = 4.5% OF REAR LOT COVERAGE  
VARIANCE REQUEST: PROPOSED ACCESSORY BUILDING ROOF HEIGHT- 20'-0"

**GENERAL NOTES:**

1. Contractor shall visit and inspect site and become familiar with all conditions in field prior to submitting a bid. All existing dimensions and conditions shall be verified in the field by the Contractor(s) prior to the construction of any part of the work and prior to ordering materials. Do not scale drawings. Notify the Architect in writing of any discrepancies.
2. All laws in force at the building location shall govern. Each Contractor and Sub-contractor shall perform all work in conformity with those laws whether or not such work is specifically shown on these drawings.
3. Each contractor is responsible for compliance with the design. Any inconsistencies between the as-built conditions and these drawings shall be reported immediately to the Architect before construction. ANY REVISIONS, CHANGES, OR DEVIATIONS PROPOSED BY THE CONTRACTOR OR TENANT MUST BE SUBMITTED TO THE ARCHITECT & CLIENT IN WRITING AND RECEIVE APPROVAL PRIOR TO PROCEEDING WITH THE WORK.
4. The General Contractor shall determine the exact locations of all public utilities prior to initiating any demolition or construction.
5. Each Contractor shall be registered with the city where the work is being conducted and shall carry Workmens Compensation and Liability Insurance in amounts requested by the Owner. Contractors Liability Insurance shall include a "Hold Harmless" clause to indemnify the Architect and the Owner against any and all claims that may arise during the life of this contract. In accordance with generally accepted construction practices, the Contractor(s) shall be solely responsible for the conditions at the job site, including the safety of all persons and property during the performance of the work.
6. The Contractor shall notify the Architect in writing of any materials or apparatus believed to be inadequate, unsuitable, in violation of laws, ordinances, rules, or regulations of authorities having jurisdiction prior to construction.
7. It is the intent of these drawing to have all of the work done and completed in a good workerlike manner. All work shall be furnished and installed complete in every detail, ready for satisfactory operation, and all required apparatus and material shall be furnished even though not specifically mentioned herein.
8. All materials, finishes & equipment shall be erected, installed, connected, cleaned, adjusted, tested, conditioned & placed in service as per manufacturer's directions & recommendations.
9. The General Contractor shall coordinate with the Owner the location, on site, for the storage of construction materials and the areas to be protected from the work.
10. The Owner does not assume any responsibility for conditions under which the contract work must be performed and shall not be held liable for any delays or damage caused to the Contractor by reasons beyond the control of the Owner.
11. Protect existing occupancy that is to remain in continuous operation during the construction activity. Carefully remove portions that are to be removed and protect portions that are to remain temporarily or permanently in place. Provide shoring as required.
12. No extras will be authorized unless they are approved in writing by the Owner.
13. Each Contractor and Sub-contractor shall be responsible for his/her own construction tools & materials. Each Contractor & Sub-contractor shall be responsible for the quality of the work.
14. Each Contractor & Sub-contractor shall obtain & pay for all contractor required costs & trade permits. Sales tax shall be included in all bids.
15. Each Contractor shall keep the area clean at all times and remove all rubbish from the premises each day. After completion of the work, the site shall be cleaned wherever such cleaning is required, including areas of the building made dirty by the construction work. Each contractor shall remove from the premises trash, rubbish, tools, equipment and excess materials. The site is to be left in perfectly clean condition.
16. OBC 3302.1 - Required exits, existing structural elements, fire protection devices and sanitary safeguards shall be maintained at all times during remodeling, alterations, repairs, or additions to any building or structure.
17. OBC 3404.1 - Additions or alterations to existing systems, materials, or components shall not cause them to become unsafe, hazardous, overloaded, or become less effective than when originally installed, constructed, and/or approved.
18. All work shall be guaranteed for one year from date of final payment to contractor.
19. Unless noted otherwise all dimensions and profiles are to match existing conditions.
20. Provide fire rated wood backing at all surface mounted fixtures and accessories.
21. No smoking in home/building. Remove all cigarette butts from property.

**DESIGN CRITERIA:** Zone 5  
Use Group: R  
2019 Residential Code of Ohio (RCO)  
Roof Design Loads:  
15 psf dead load  
12 psf wind load (90 mph max)  
30 psf live load  
30 psf snow load  
1. Ground Snow Load: 30 PSF  
2. Basic wind speed: 115 MPH (ULT), EXP B  
90 MPH, Design Speed  
3. Wind exposure category - B  
4. High wind design criteria - B  
5. Seismic design category - B  
6. Weathering - Severe  
7. Termite area: Heavy to Moderate  
8. Winter design temperature: 5° F  
9. Floor loads for decks and floor joists  
30 psf live load  
15 psf dead load  
12 psf wind load (90 mph max)  
30 psf snow load  
10. Concrete compressive strength: 4000 psi for 28 days  
11. Load bearing value of soil: 1500 psi  
12. Energy Efficiency minimums - RCO 2019  
Door (exterior) R-Value: 4.75  
Fenestration U-Factor: 0.30  
Skylight U-Factor: 0.55  
Ceiling R-value: 49/Ceiling U-factor: 0.026  
Floor R-value: 30 or insulation filled R19/Floor U-factor: 0.033  
Basement Wall R-value: 10/13/Basement Wall U-factor: 0.059  
Slab R-value & Depth: 10 & 2 ft.  
Crawl Space Wall R-value: 10/13/Crawl Space Wall U-factor: 0.065  
Roof; Insulation entirely above deck: R-30  
Attic: Residential: R49  
Wood framed wall R-value: R13 + R5ci or R20  
Frame wall U-factor: 0.060  
Mass Wall R-value: 13/17; Mass Wall U-factor: 0.082

**List of Drawing Sheets**

|     |                        |
|-----|------------------------|
|     |                        |
| A1  | Cover Sheet            |
| A2  | Site Plan              |
| A3  | Proposed Floor Plan    |
| A3a | Reflected Ceiling Plan |
| A4  | Proposed Elevations    |
| A5  | Longitudinal Section   |
| A6  | Foundation             |
| A7  | Roof detail            |
| A8  | Schedules              |
| A9  | Plumbing Diagram       |
| A10 | Photos                 |
|     |                        |
|     |                        |



Front Elevation

**DEMOLITION NOTES**

1. Isolate areas in use from areas of construction; use dust-control procedure and barriers during demolition, construction, repair, or renovation.
2. Demolition shall not be limited solely to the items specifically shown in the drawings. The intent is to show the General Scope of demolition required to prepare the spaces for new construction.
3. Contractor to comply with all applicable local, state and federal codes as well as all OSHA regulations to protect the safety of workers and property and to ensure environmental protection.
4. Contractor to prevent movement or settlement of existing structure. Contractor to provide sufficient temporary bracing and/or shoring of existing structure and assume liability for any movement, damage, or injury resulting from the demolition work required.
5. Contractor shall take all necessary precautions to prevent damage to adjacent areas. Contractor incurring damages shall be responsible for repair and/or replacement.
6. All demolished items are to remain property of the Owner at his/her discretion. All items not kept by the Owner shall be removed from the site by the Contractor at the Contractor's expense.
7. Separate recyclable and non-recyclable refuse, debris, rubbish and other materials resulting from the demolition operations, and dispose of each responsibly.
8. Remove from the site and legally dispose of daily refuse, debris, rubbish and other materials resulting from the demolition operations. Contractor shall maintain a refuse dumpster on site. Co-ordinate location with the building management. Building to be left broom-clean and ready to receive new construction.
9. Remove and discard all remaining electrical components within walls, ceilings and floors. Remove items back to source panel. See Electrical Drawings.
10. Remove existing plumbing in walls scheduled to be demolished. Remove piping that cannot be re-used back to the source. See Plumbing Drawings.
11. Contact Architect if demolition or removal of any item not specifically identified is in question.
12. Contractor to protect the existing building in all aspects from damage due to weather and/or other intrusions.
13. Contractor shall visit and inspect site and become familiar with all conditions in field prior to submitting a bid for demolition work.

**Studio Addition**  
**King/Curry**  
**Residence**

1582 Compton Rd  
Cleveland Heights  
Ohio 44118

Sally L. Levine, AIA, LEED AP  
Levine  
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*Sally L. Levine*  
15 October 2022  
Registration # 13545  
Expires 31 December 2023

15 October 2022

In progress 7 October 2022

Zoom meeting 3 Oct 2022

In progress: 1 October 2022

A1



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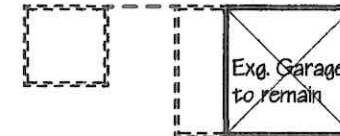
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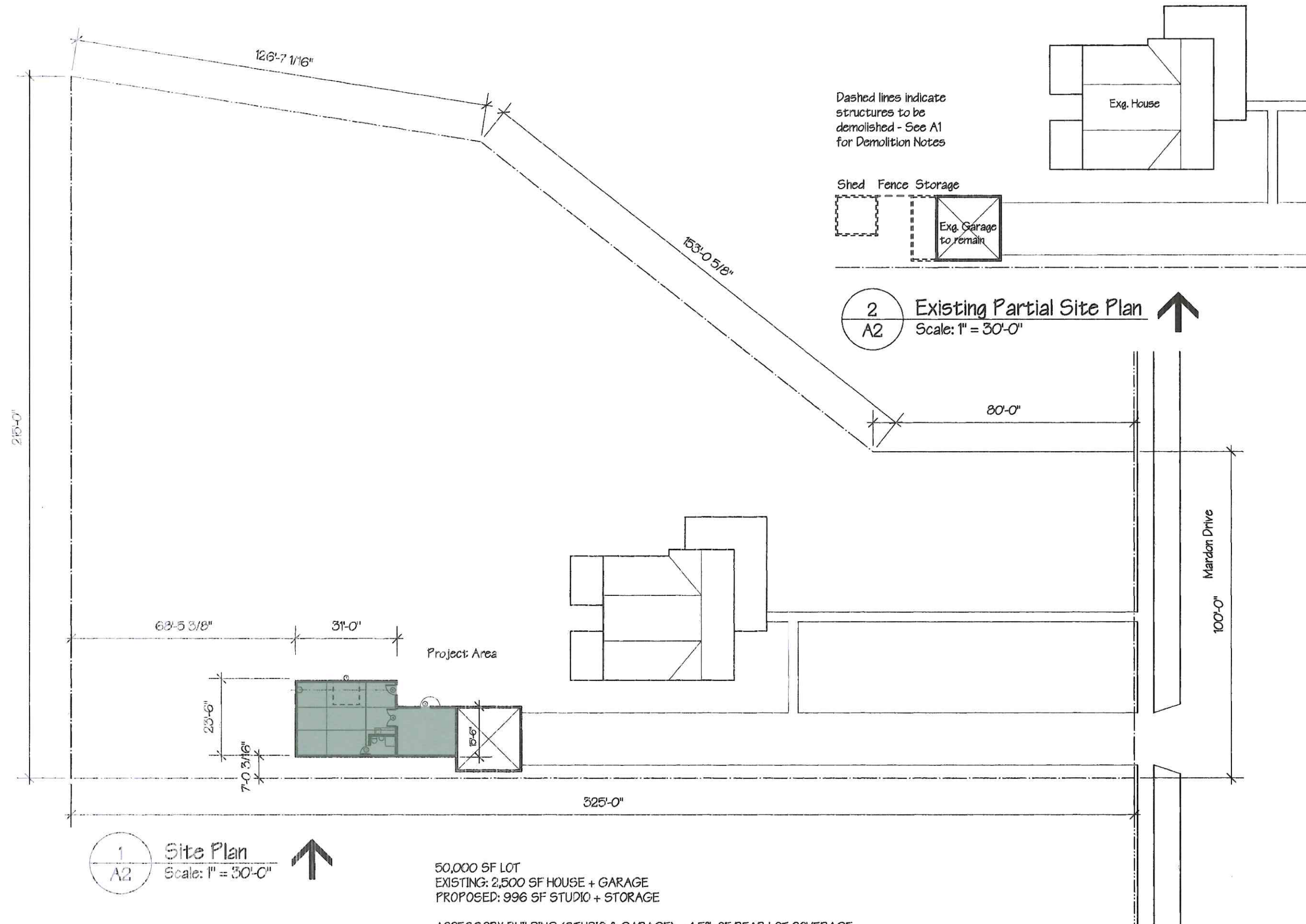
A2

Dashed lines indicate  
structures to be  
demolished - See A1  
for Demolition Notes

Shed Fence Storage



2 Existing Partial Site Plan  
A2 Scale: 1" = 30'-0"



1 Site Plan  
A2 Scale: 1" = 30'-0"

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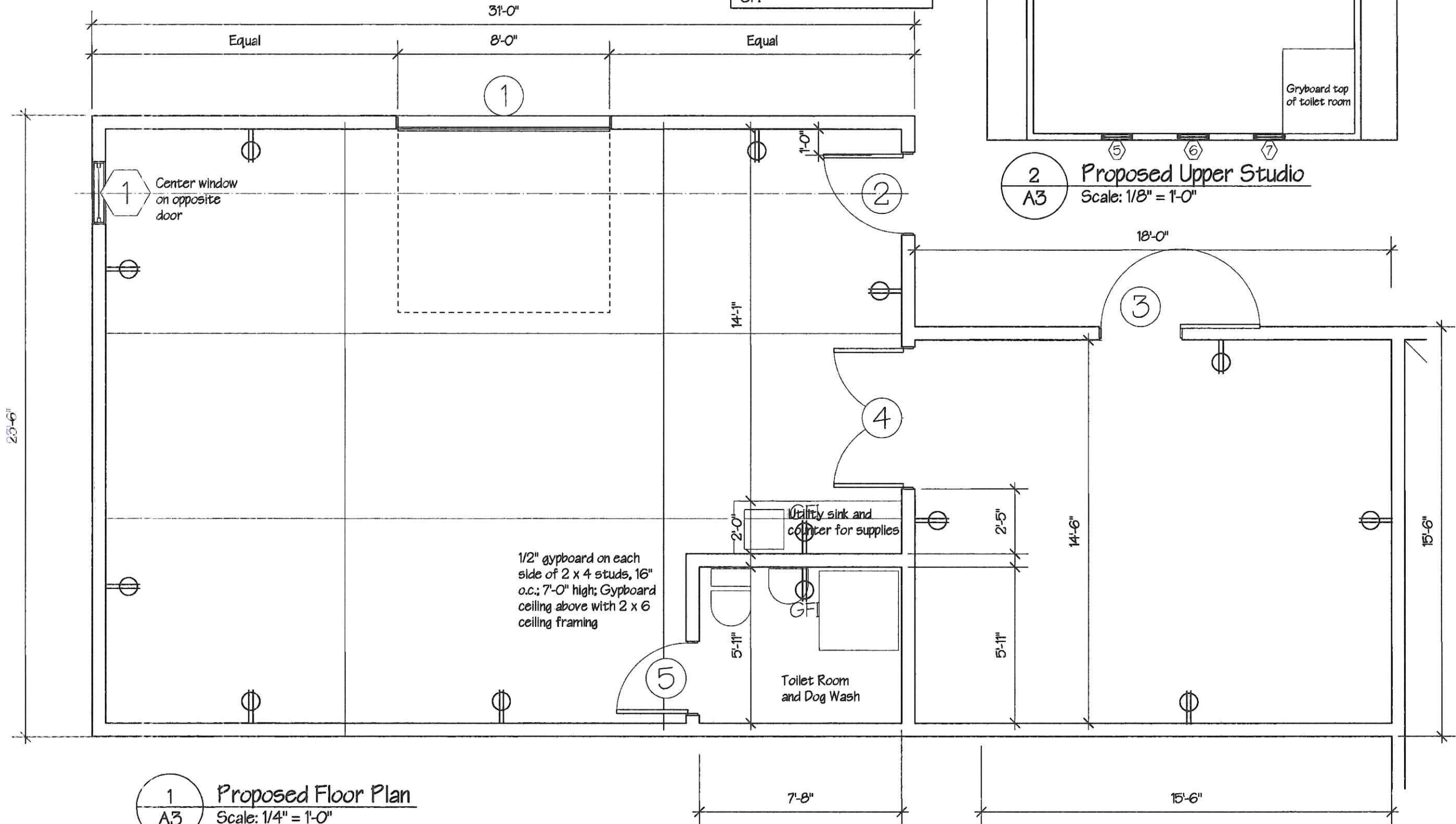
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A3



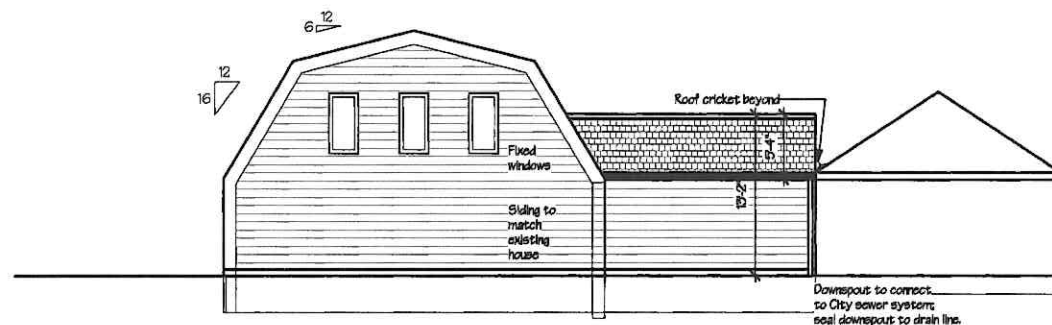




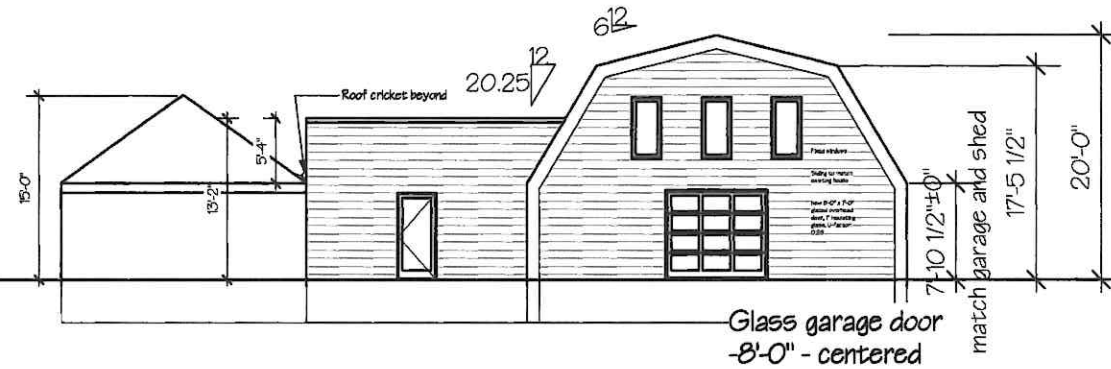
1 Proposed North Elevation  
A4 Scale: 1/16" = 1'-0"



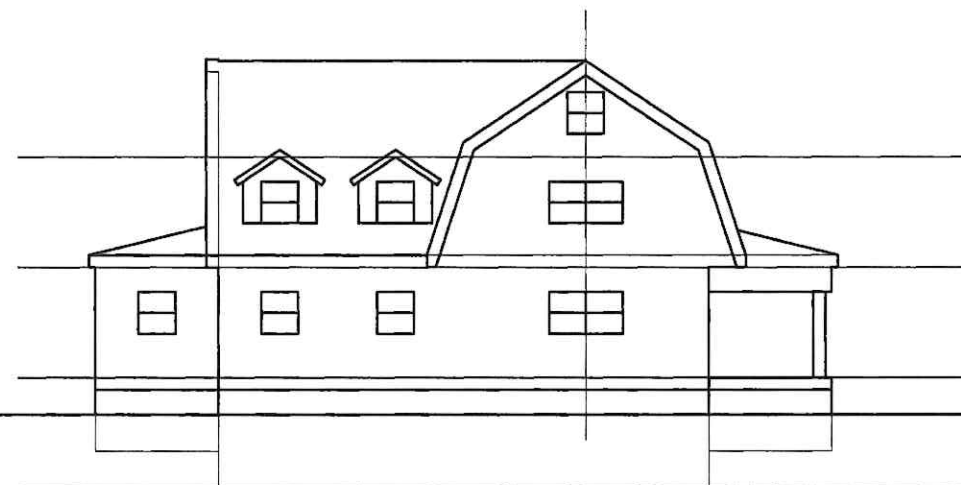
2 Proposed East Elevation  
A4 Scale: 1/16" = 1'-0"



4 Proposed South Elevation  
A4 Scale: 1/16" = 1'-0"



3 Proposed West Elevation  
A4 Scale: 1/16" = 1'-0"



NOTE to General Contractor: Owner has existing bleacher wood - 20-plus pieces; Perhaps use in structure 1.5 x 11.5 x 16'-0" - T-joint image w/steel plate? Review w/Architect

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