



Noble Road Branch Renovation and Addition

2800 Noble Road, Cleveland Heights, OH 44121

Planning Commission Submittal
29 November 2022

Bostwick Design Partnership, Architect

Barber & Hoffman, Inc., Structural Engineer

Algebra AEC, MEPT Engineer

Halle's Engineering & Design, LLC, Civil Engineer

Drew Sargeant, Landscape Architect

Bostwick No. 22008

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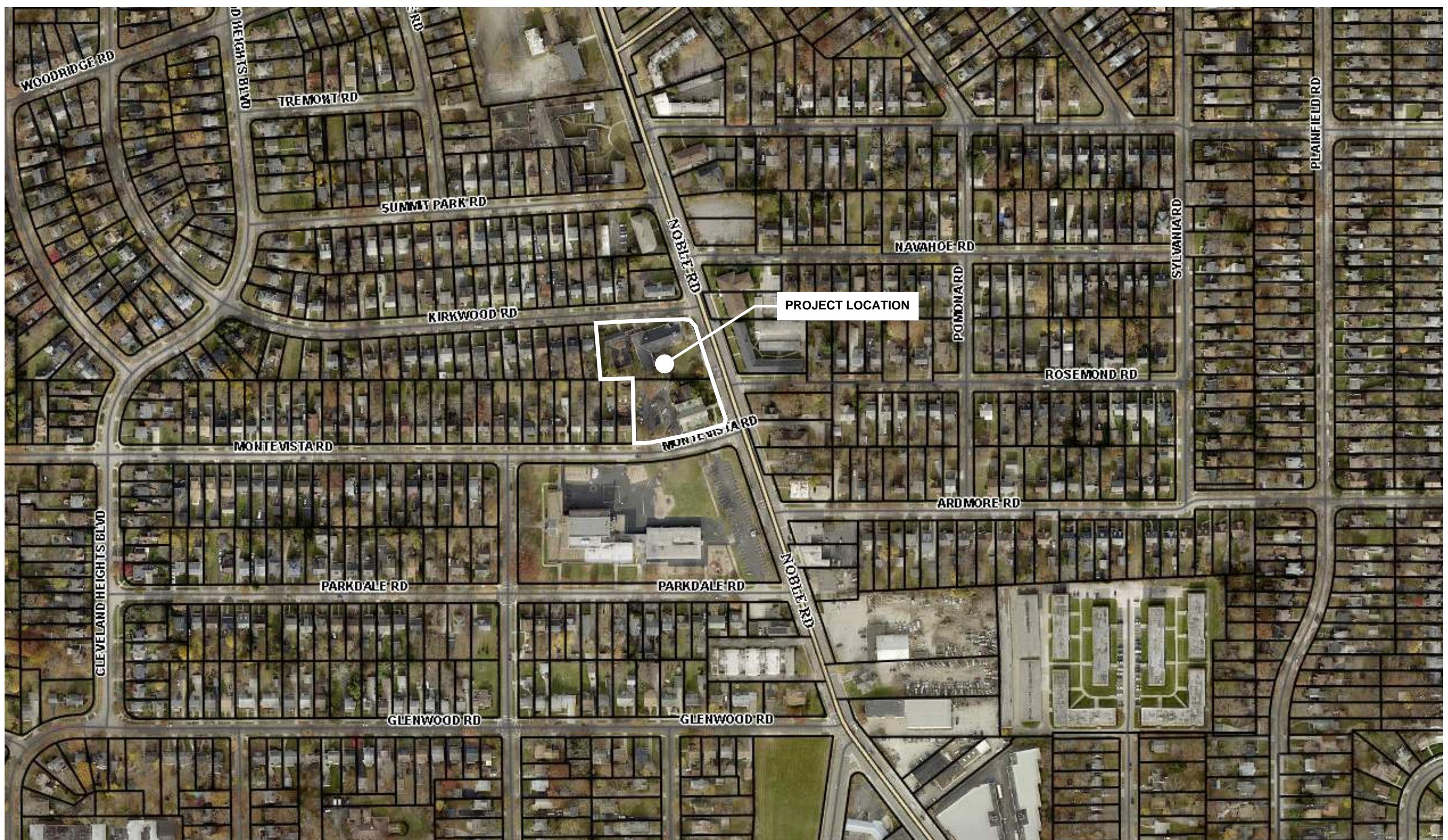
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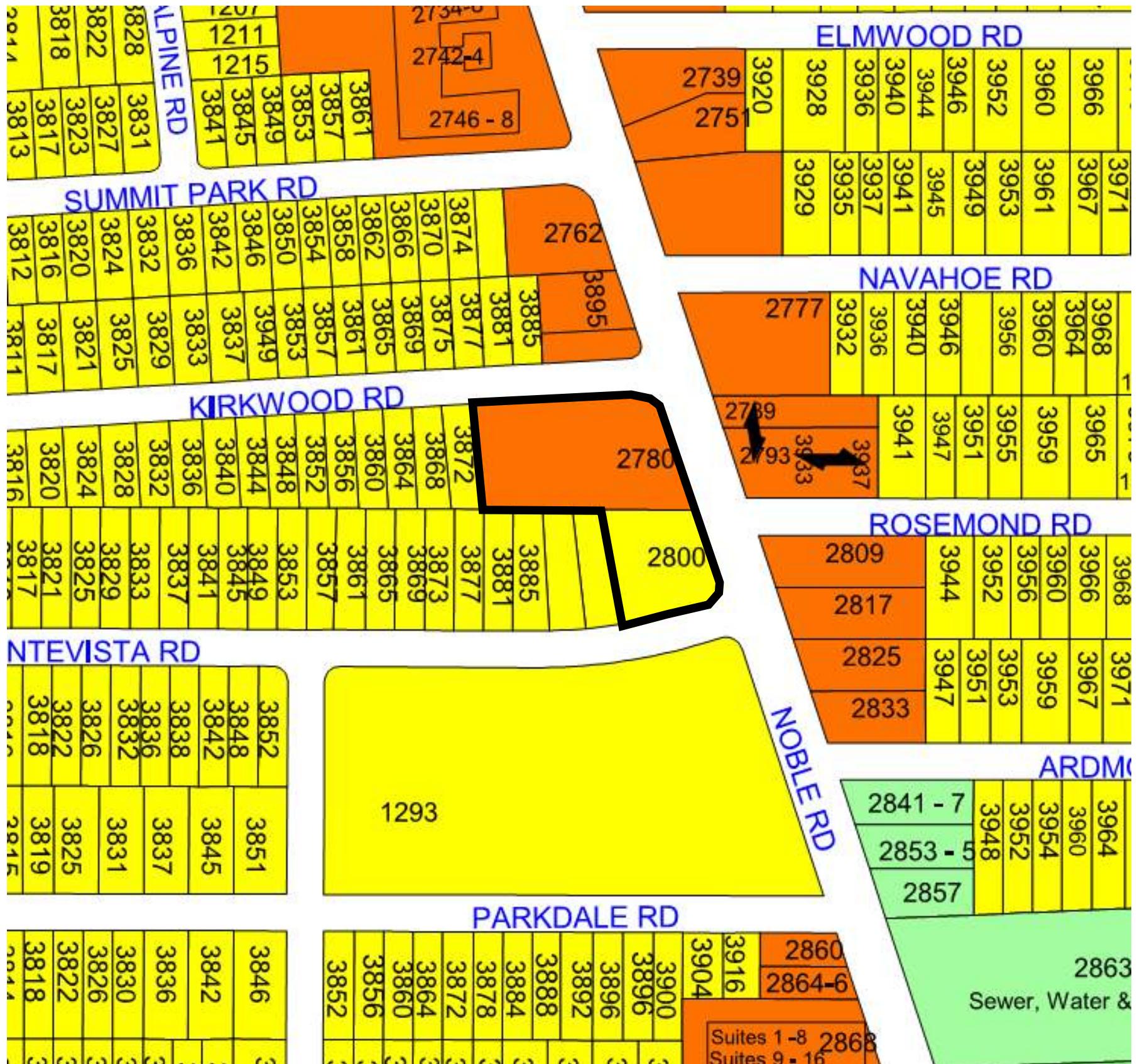
VICINITY MAP



PLANNING COMMISSION REQUESTS

Conditional Use Permit

Lots are zoned as A Single-Family and MF2 Multiple-Family. Both are to be used for the expansion of the library.



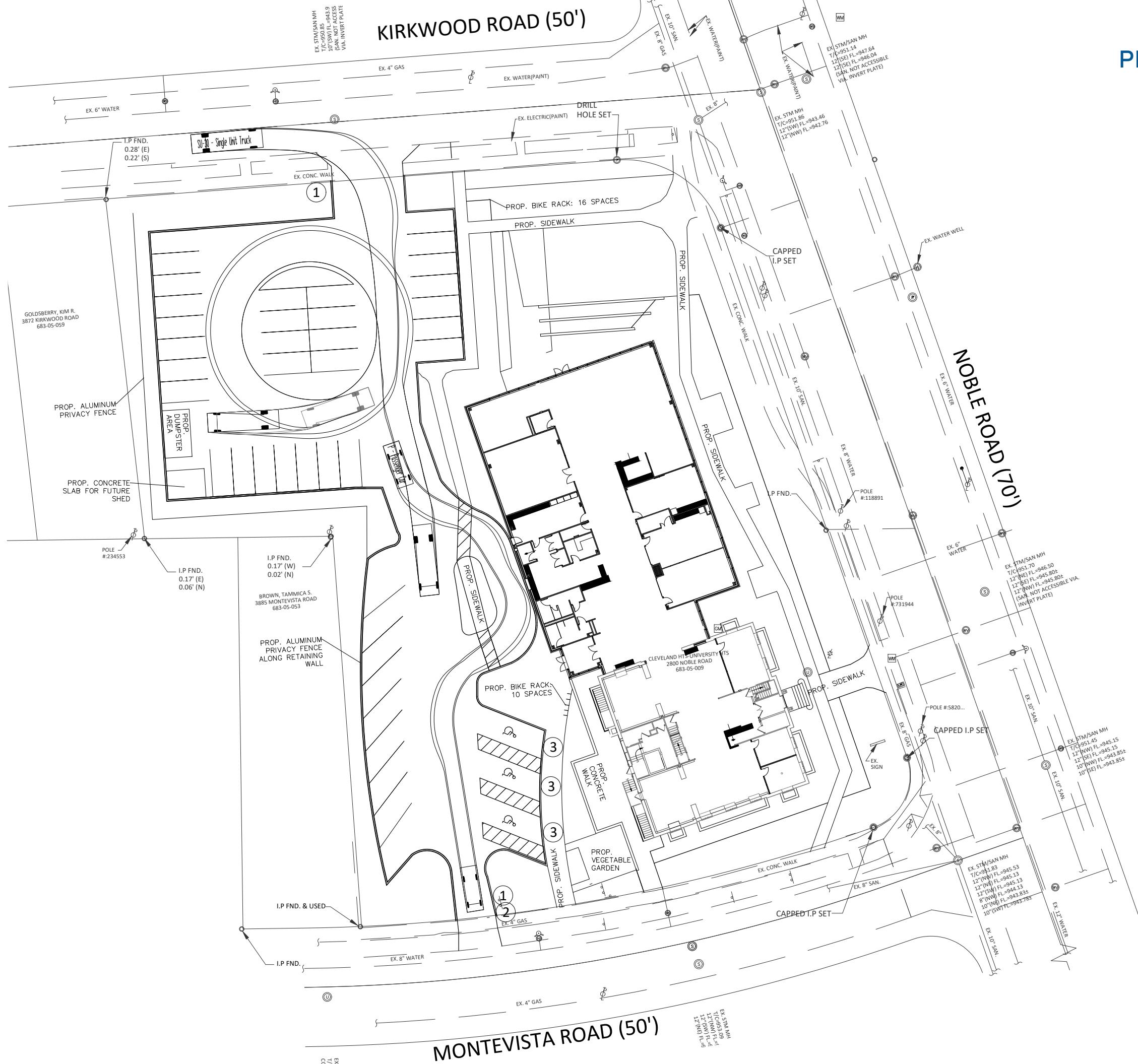
ZONING DISTRICTS

- AA SINGLE-FAMILY
- A SINGLE-FAMILY
- B TWO-FAMILY
- MF1 MULTIPLE-FAMILY
- MF2 MULTIPLE-FAMILY
- MF3 MULTIPLE-FAMILY
- C1 OFFICE
- C2 LOCAL RETAIL
- C2X MULTIPLE-USE
- C3 GENERAL COMMERCIAL
- P PARK
- S1 MIXED-USE
- S2 MIXED-USE
- OVERLAY

PLANNING COMMISSION REQUESTS

Reduction in Parking

Per Cleveland Heights Zoning Ordinance Schedule 1161.03, one parking space is required for each 300 SF of floor area. At 20,600 SF of library space, 69 spaces would be required. The site as drawn will accommodate **42 parking spaces**, so a reduction of 27 spaces is requested.



SCALE: 1" = 40'-0"



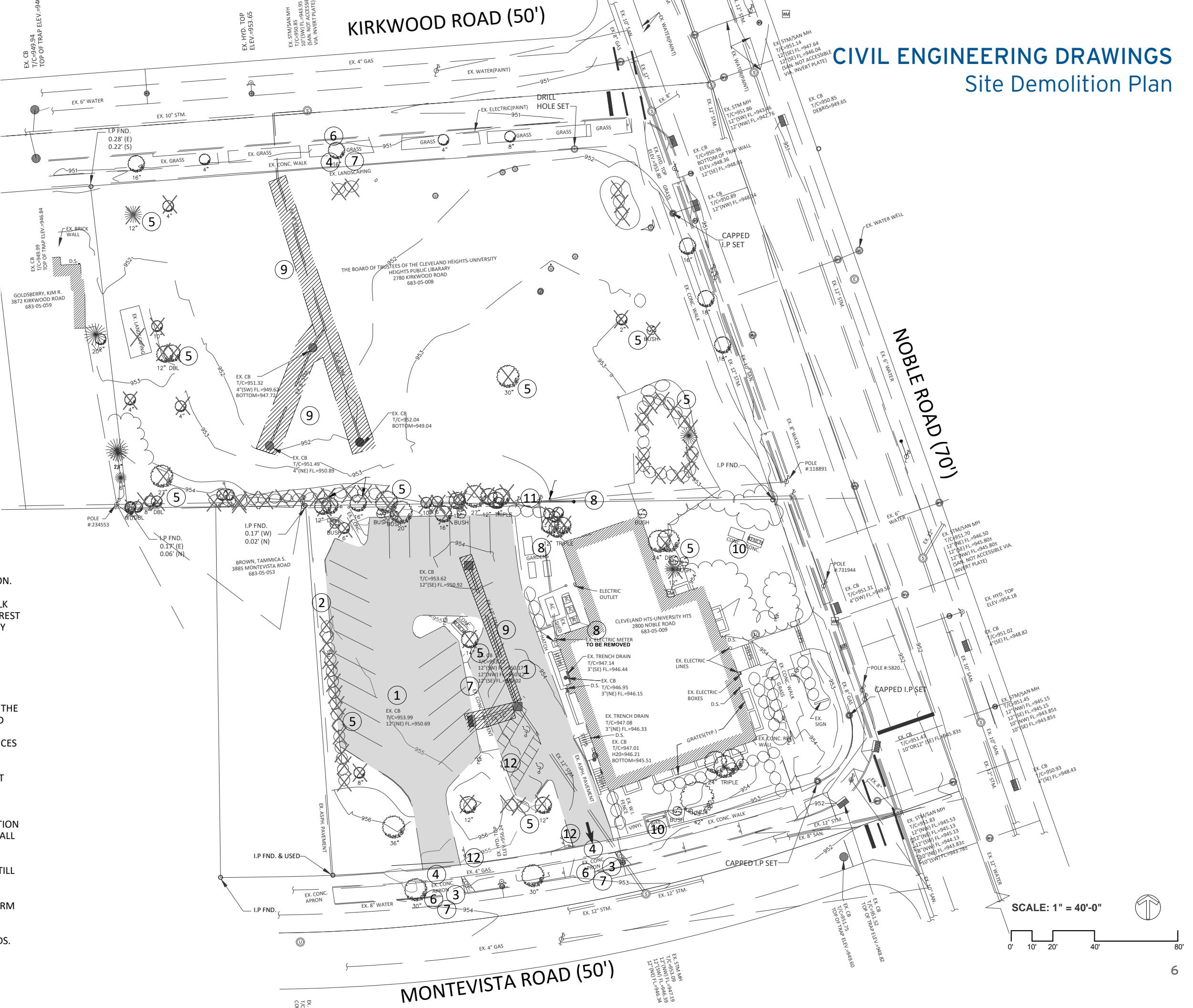
A step function graph showing a signal that is high for the first 20' and then low for the remaining 60'. The x-axis is labeled with 0', 10', 20', 40', and 80'.

GENERAL NOTES

1. EXISTING CONDITIONS SHOWN PER TOPOGRAPHIC SURVEY PERFORMED BY STEVEN HOVANCSEK & ASSOCIATES, INC.
2. PARCEL BOUNDARY IS PER BOUNDARY SURVEY PREPARED BY STEVEN HOVANCSEK & ASSOCIATES, INC.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK.
4. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL TRASH, DEBRIS, AND ORGANIC MATERIAL IN A LAWFUL MANNER.
5. CONTRACTOR TO SUPPORT AND PROTECT EXISTING UTILITIES THROUGHOUT DURATION OF CONTRACT. ALL UTILITIES ARE TO REMAIN ACTIVE.
6. CONTRACTOR TO USE CAUTION WHILE WORKING NEAR EXISTING UNDERGROUND UTILITIES.
7. CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY ONSITE AND OFFSITE ITEMS DAMAGED DURING CONSTRUCTION IN THE SAME OR BETTER CONDITION THAN THEY WERE PRIOR TO CONSTRUCTION.
8. CONTRACTOR SHALL LOCATE CONSTRUCTION FENCING AS NEEDED ON SITE.

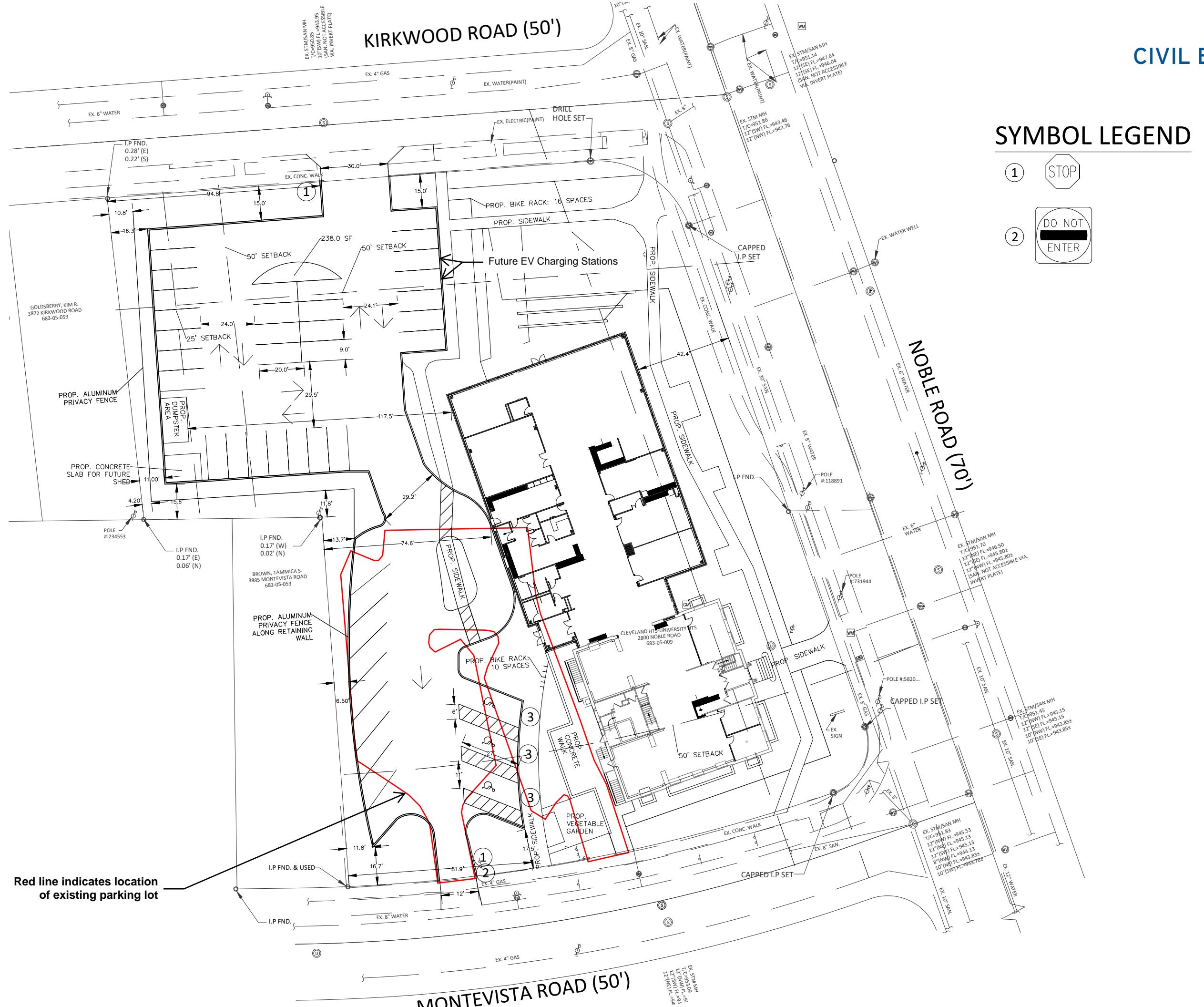
CODED NOTES

- ① CONTRACTOR SHALL REMOVE EXISTING ASPHALT PAVEMENT.
- ② CONTRACTOR SHALL REMOVE EXISTING ASPHALT CURB.
- ③ CONTRACTOR SHALL REMOVE EXISTING CONCRETE DRIVE APRON.
- ④ CONTRACTOR SHALL SAWCUT AND REMOVE EXISTING SIDEWALK TO A CLEAN, NEAT EDGE IN LOCATION SHOWN OR TO THE NEAREST CONTROL JOINT. PROVIDE TEMPORARY BYPASS AS REQUIRED BY THE CITY OF CLEVELAND
- ⑤ CONTRACTOR SHALL REMOVE ALL TREES, STUMPS ROOTS AND VEGETATION WITHIN CLEARING LIMITS AS SHOWN.
- ⑥ CONTRACTOR SHALL REMOVE EXISTING CONCRETE CURB AND GUTTER TO THE NEAREST CONTROL JOINT. PAVEMENT WITHIN THE RIGHT OF WAY ALONG THE CURB AND GUTTER TO BE REMOVED SHALL BE SAWCUT TO LEAVE A NEAT CLEAN EDGE TO PAVE UP AGAINST. CONTRACTOR SHALL UTILIZE TRAFFIC CONTROL DEVICES DURING WORK FOR SAFETY OF MOTORISTS AND WORKERS.
- ⑦ CONTRACTOR SHALL REMOVE EXISTING CURB TO A CLEAN NEAT EDGE AT THE NEAREST CONTROL JOINT.
- ⑧ CONTRACTOR SHALL COORDINATE REROUTING OF EXISTING OVERHEAD WIRED UNDERGROUND, AND REMOVE OR RELOCATION OF EXISTING POWER AND TELEPHONE POLES. CONTRACTOR SHALL CONTACT POWER COMPANY AT LEAST 72-HOURS PRIOR TO DISCONNECTING POWER LINES TO ENSURE ALL DOWNSTREAM ITEMS TO REMAIN AND OTHER ELECTRICAL APPURTENANCES STILL FUNCTION. (SEE ELECTRICAL PLANS).
- ⑨ CONTRACTOR SHALL REMOVE EXISTING CATCH BASIN AND STORM SEWER.
- ⑩ CONTRACTOR TO REMOVE EXISTING CONCRETE WALK AND PADS.
- ⑪ CHAINLINK FENCE TO BE REMOVED.
- ⑫ SIGN REMOVED.

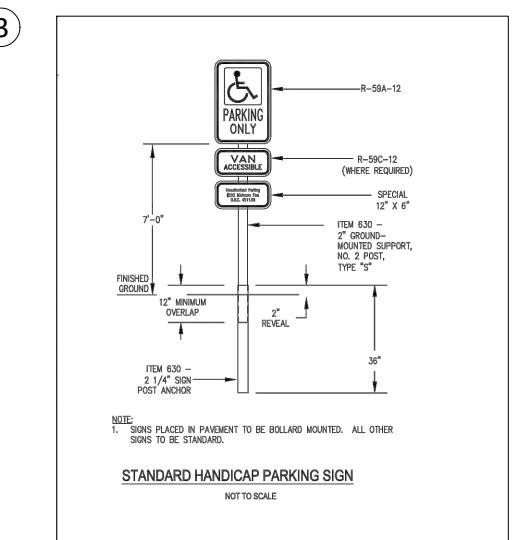
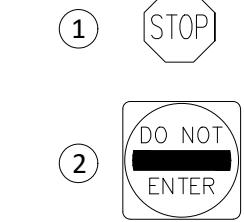


CIVIL ENGINEERING DRAWINGS

Site Parking Plan

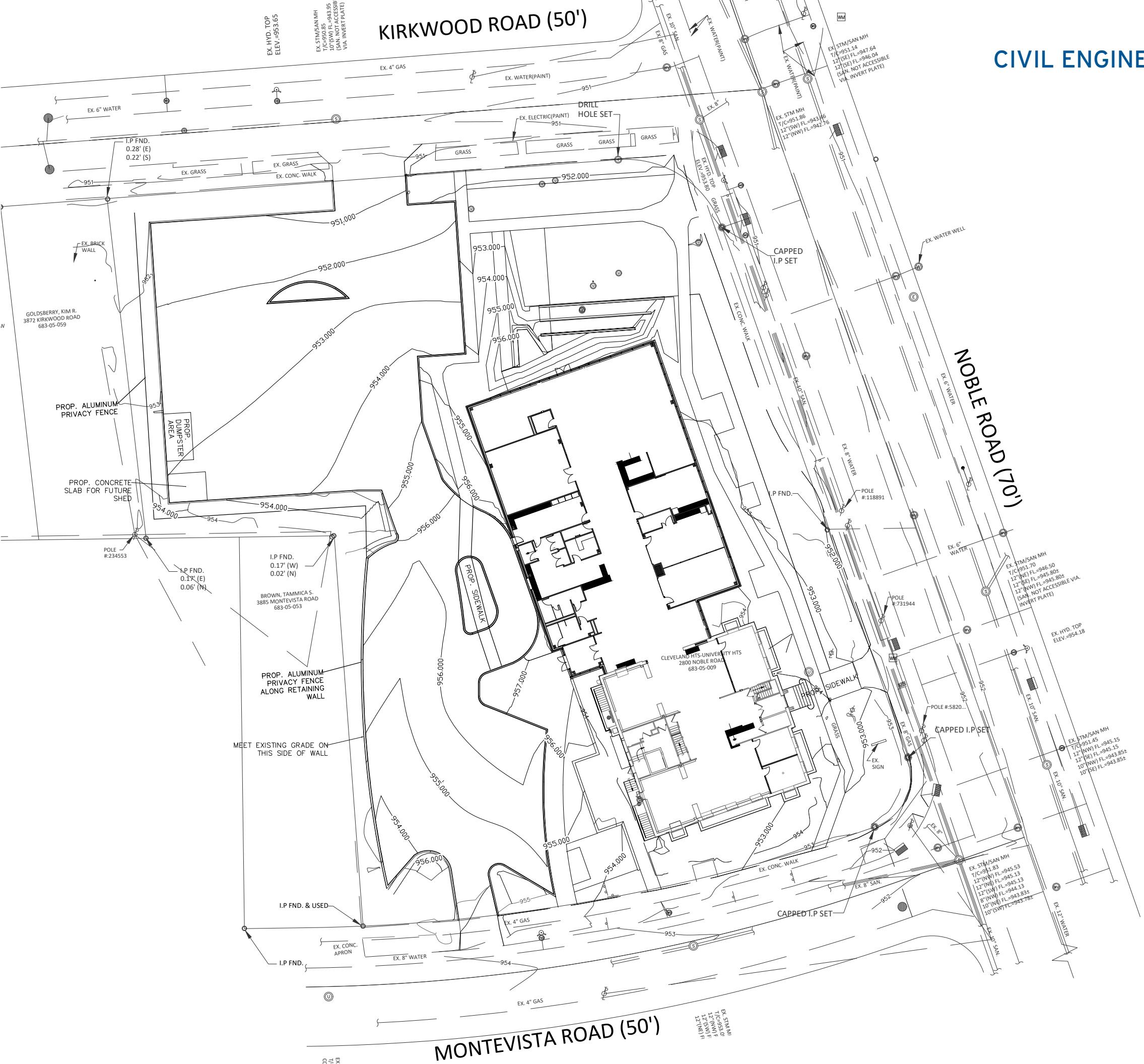


SYMBOL LEGEND

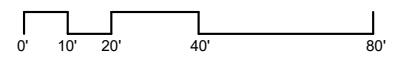


CIVIL ENGINEERING DRAWINGS

Site Grading Plan



SCALE: 1" = 40'-0"

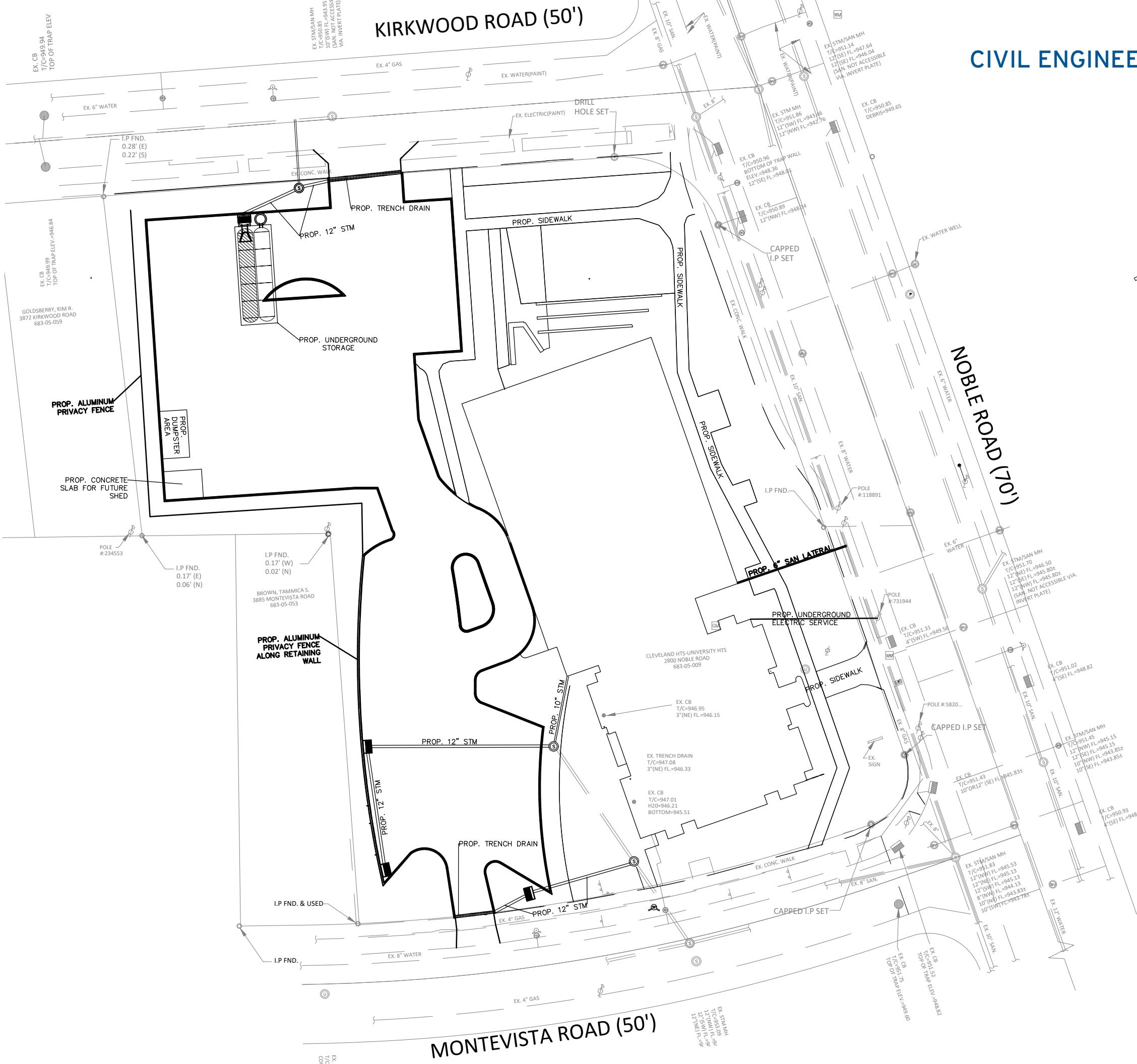


CIVIL ENGINEERING DRAWINGS

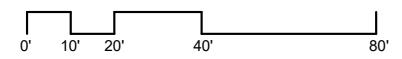
Site Utility Plan

SYMBOL LEGEND

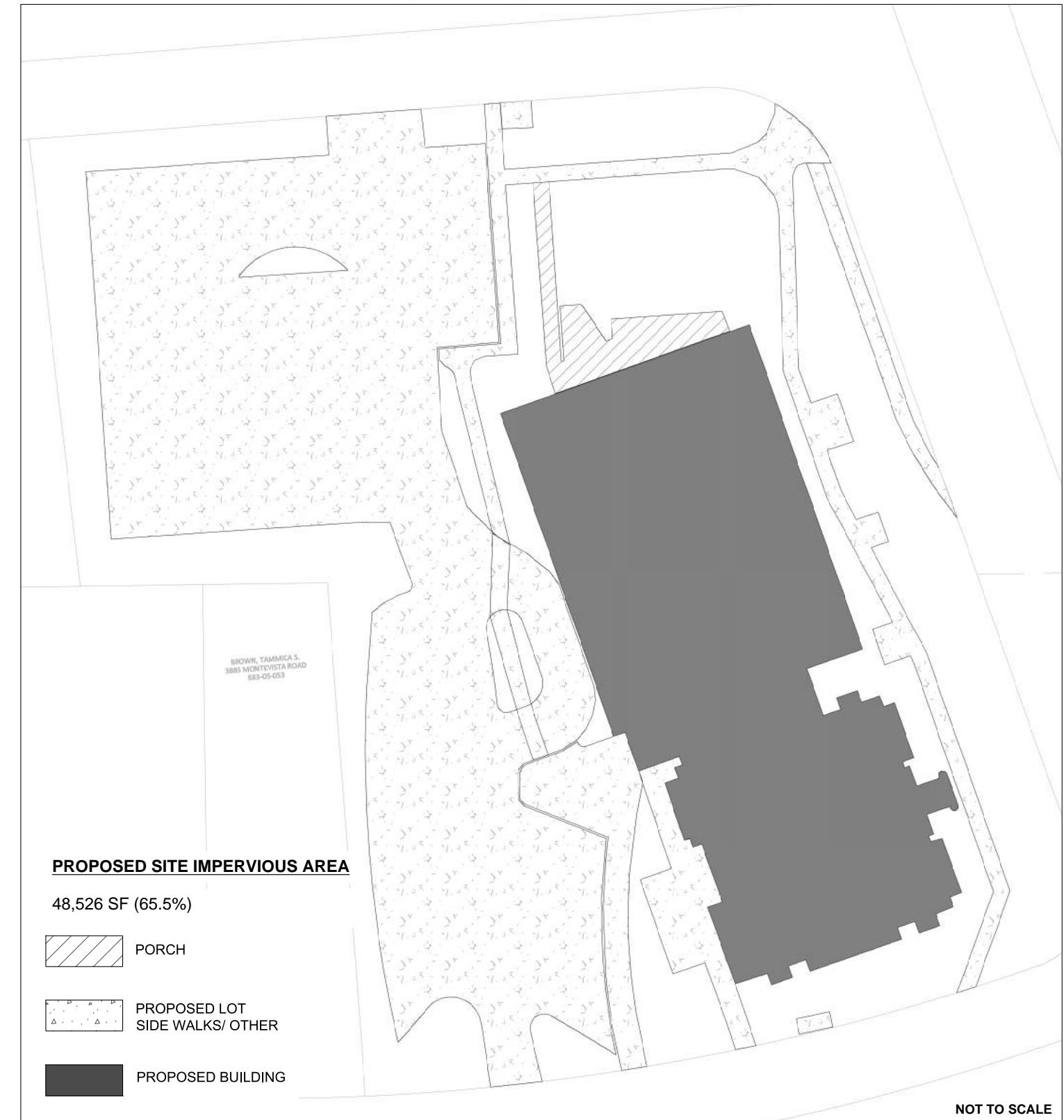
-  EX. STORM SEWER MANHOLE
-  PROP. CATCH BASIN
-  PROP. STAND PIPE
-  PROP. STORM SEWER MANHOLE



SCALE: 1" = 40'-0"

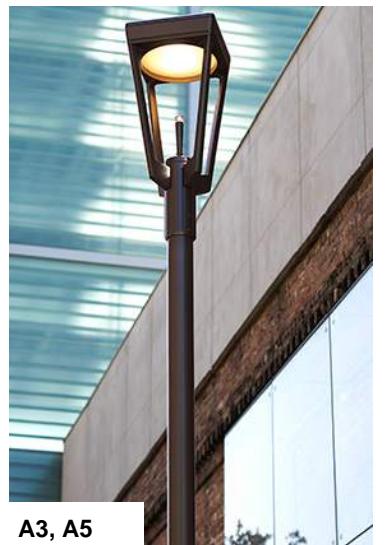


CIVIL ENGINEERING DRAWINGS
Impervious Area Plans



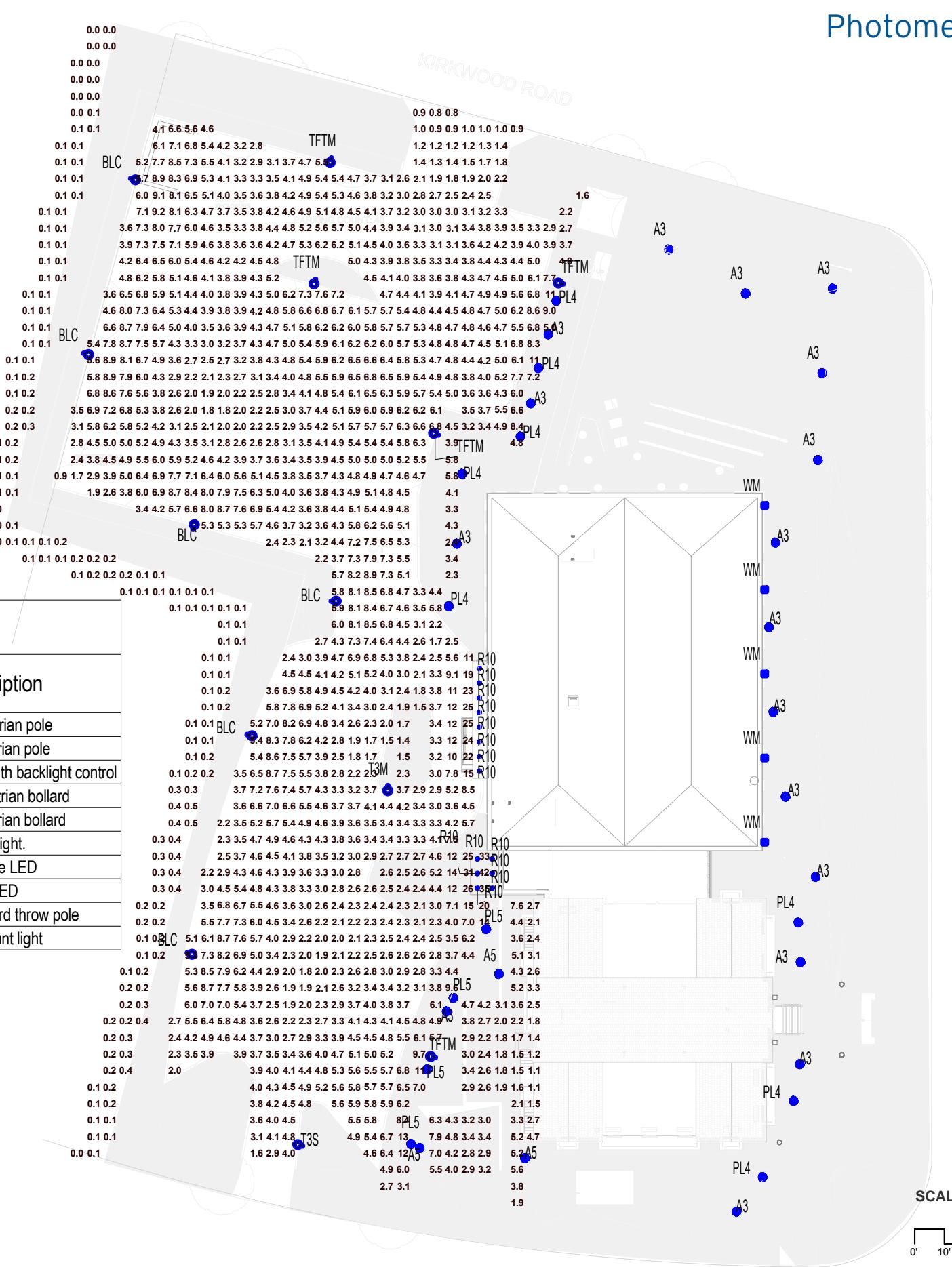
SITE LIGHTING DRAWINGS

Photometric Site Plan



Site Lighting Fixture Schedule

Tag	Manufacturer	Model	CCT	CRI	Luminous Flux	Power	Mounting Height	Description
A3	Landscape Forms	AP 206L3 30K UV1 12	3000 K	85	2350 lm	39 W	12'	Type III LED pedestrian pole
A5	Landscape Forms	AP 212L5 30K UV1 12	3000 K	85	4634 lm	78 W	12'	Type V LED pedestrian pole
BLC	Lithonia Lighting	DSX1 LED P3 30K BLC MVOLT G1	3000 K	70	9570 lm	102 W	15'	Type III pole LED with backlight control
PL4	Landscape Forms	AP 006L4 30K UV1	3000 K	84	590 lm	9 W	3'	Type IV LED pedestrian bollard
PL5	Landscape Forms	AP 012L5 30K UV1	3000 K	84	1063 lm	14 W	3'	Type V LED pedestrian bollard
R10	Signify	P4R-DL-20-830-Z10-U	3000 K	80	2000 lm	21 W		4" LED round downlight.
T3M	Lithonia Lighting	DSX1 LED P3 30K T3M MVOLT G1	3000 K	70	11338 lm	102 W	18'	Type III medium pole LED
T3S	Lithonia Lighting	DSX1 LED P2 30K T3S MVOLT G1	3000 K	70	8262 lm	70 W	18'	Type III short pole LED
TFTM	Lithonia Lighting	DSX1 LED P4 30K TFTM MVOLT G1	3000 K	70	13449 lm	125 W	18'	Type Medium forward throw pole
WM	Landscape Forms	AP 108L3 30K UV1 MW1	3000 K	83	1012 lm	19 W		Decorative wall mount light



SCALE: 1" = 40'-0"



LANDSCAPE ARCHITECTURE DRAWINGS

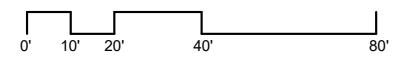
Landscape Plan

LEGEND

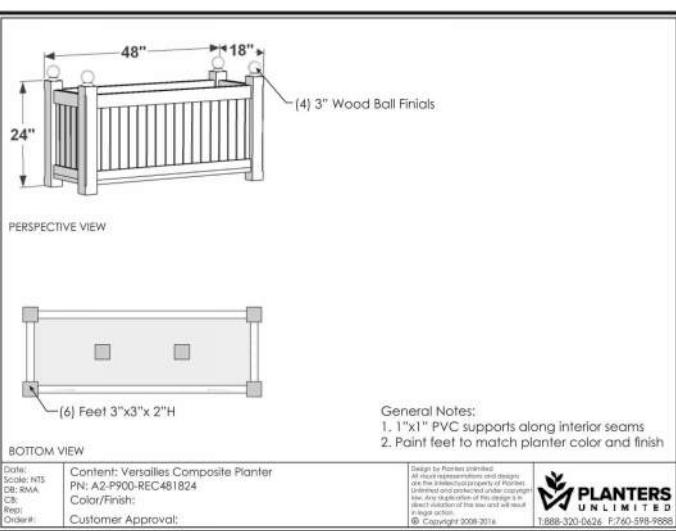
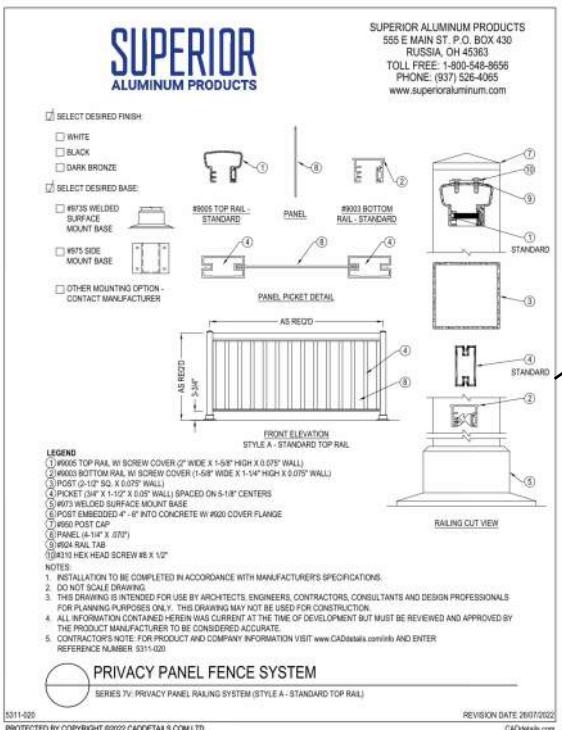
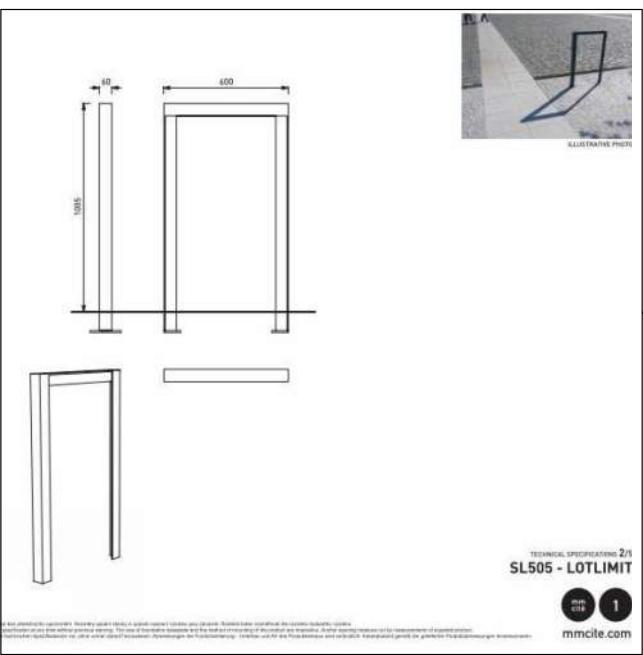
- PROPERTY LINE
- LIMIT OF WORK
- EXISTING BUILDING
- PROPOSED BUILDING
- EXISTING TREE TO REMAIN
- PROPOSED TREE

NOBLE ROAD (70')

SCALE: 1" = 40'-0"



MONTEVISTA ROAD (50')



NOTES

1. ALL TREES WITHIN TREE PROTECTION ZONE BOUNDARIES SHALL REMAIN AND BE PROTECTED DURING CONSTRUCTION, UNLESS SPECIFICALLY DESIGNATED TO BE REMOVED. PRIOR TO REMOVAL, THE CONTRACTOR SHALL ARRANGE AN ON-SITE MEETING WITH THE LANDSCAPE ARCHITECT AND ARBORIST TO REVIEW THE CLEARING LIMIT LINES AND DATES OF REMOVAL.

2. SOIL DISTURBANCE WITHIN TREE PROTECTION ZONES SHALL BE KEPT TO A MINIMUM. HEAVY MACHINERY, MECHANICAL TRENCHING OR MATERIAL STORAGE IS NOT PERMITTED WITHIN THE TREE PROTECTION ZONE. ALL DIGGING WITHIN TREE PROTECTION ZONE SHALL BE BY HAND.

3. CORE AERATOR, TOP DRESSING MACHINE, AIR SPADING, HAND DIGGING OR OTHER APPROVED METHOD OF DIGGING AND TRENCHING SHALL BE USED IN PLACE OF ROTOTILLER TO COMPLETE ALL WORK IN TREE PROTECTION ZONES. CARE MUST BE TAKEN TO AVOID DISTURBANCE TO ROOTS OF ALL EXISTING TREES, INCLUDING ROOTS EXTENDING OUTSIDE THE TREES PROTECTION ZONES. EXCAVATION WITHIN PROTECTED ZONES SHALL BE BY MEANS OF AIR SPADING, OPERATED BY A TRAINED AND CERTIFIED OPERATOR.

4. PROHIBITED ACTIVITIES: THE FOLLOWING ACTIVITIES ARE PROHIBITED DURING DEMOLITION AND CONSTRUCTION WITHIN TREE PRESERVATION AREAS:

4.1. PLACING BACKFILL; EXCEPT AS AUTHORIZED FOR REGRADING AND UNDER OBSERVATION BY LANDSCAPE ARCHITECT AND ARBORIST.

4.2. SWINGING BACKHOES OR CRANES INTO TREE CANOPIES.

4.3. STORING OR DUMPING SUPPLIES AND MATERIALS INCLUDING STOCKPILING EXCAVATION AND FILL MATERIALS.

4.4. RAISING OR LOWERING GRADES; EXCEPT AS AUTHORIZED FOR REGRADING BY LANDSCAPE ARCHITECT.

4.5. DRIVING OR PARKING EQUIPMENT, MACHINERY, OR VEHICLES.

4.6. USING TREES FOR CRANE STAYS, GUY ANCHORS, OR OTHER FASTENINGS.

4.7. DUMPING OF CHEMICALS, INCLUDING PAINT THINNER FROM CLEANING BRUSHES, WASH-OUT FROM CLEANING EQUIPMENT, CONCRETE OR MORTAR, TRASH, OR DEBRIS.

5. DO NOT DIRECT VEHICLE OR EQUIPMENT EXHAUST TOWARD TREE PRESERVATION AREAS.

6. PROHIBIT HEAT SOURCES, FLAMES, IGNITION SOURCES, AND SMOKING WITHIN OR NEAR TREE PRESERVATION AREAS AND ORGANIC MULCH.

7. LOCATION OF TREE PROTECTION FENCING MAY BE TEMPORARILY ADJUSTED TO FACILITATE CONSTRUCTION. ADJUSTMENTS TO BE MADE IN CONSULTATION WITH ARBORIST ON SITE.

8. LOCATION OF TREE PROTECTION FENCING CORRESPONDS TO THE DRIPLINE RADIUS OF EXISTING TREES OR CONSTRUCTION LIMITS OR ELSE NOTED BY ARBORIST. DRIPLINE TO BE VERIFIED IN THE FIELD AS EXISTING CONDITIONS MAY VARY.

9. ALL TREES DESIGNATED TO BE PROTECTED THAT ARE DAMAGED OR KILLED DURING CONSTRUCTION ARE TO BE REPLACED WITH A TREE OF THE SAME SPECIES AND CALIPER (OR LARGEST COMMERCIALLY AVAILABLE CALIPER) OR ALTERNATIVE SPECIES RECOMMENDED AND APPROVED BY THE LANDSCAPE ARCHITECT.

10. CONTRACTOR WILL BE RESPONSIBLE FOR ALL TREE PROTECTION OUTSIDE THE LIMIT OF WORK.

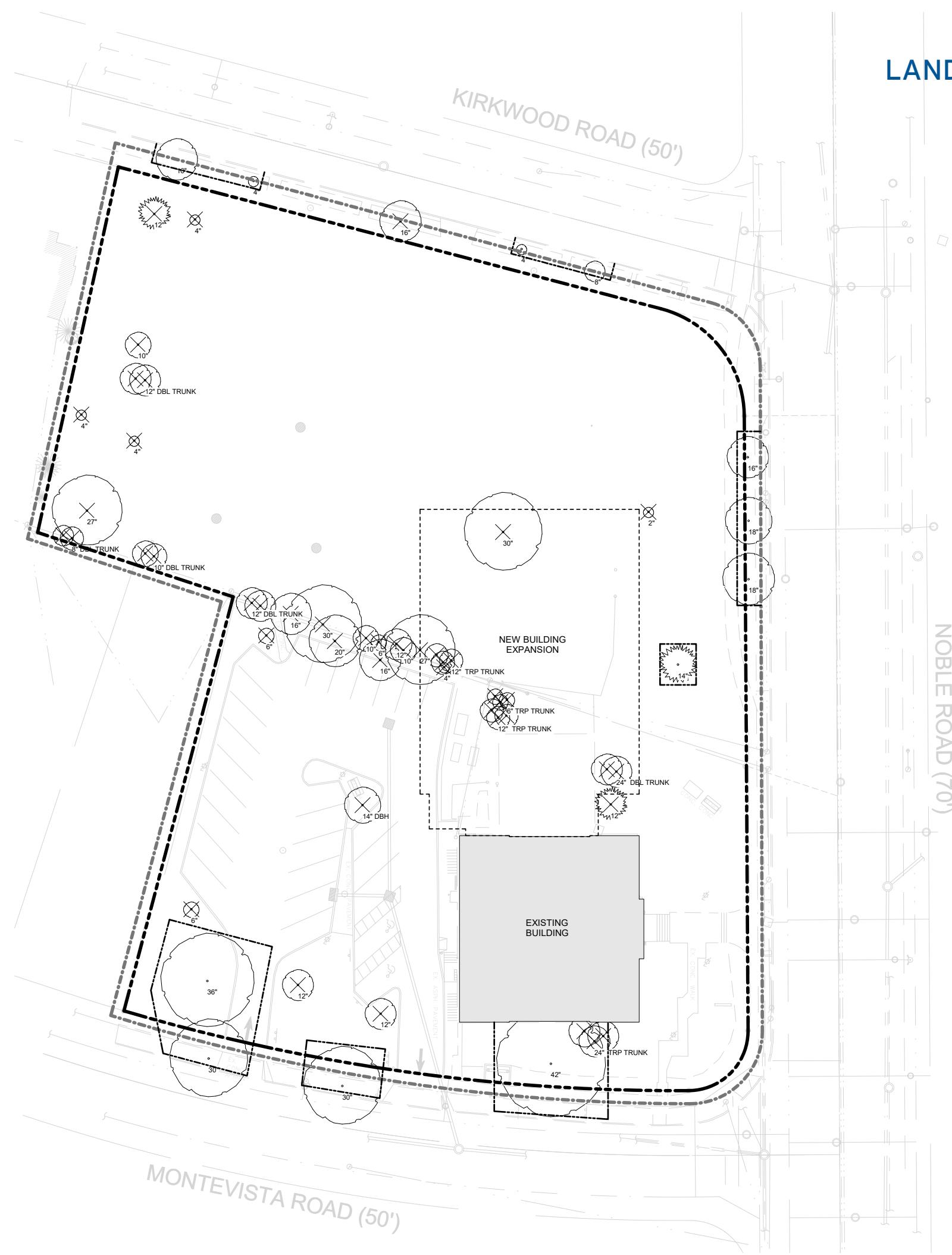
11. CONSTRUCTION FENCING MAY SERVE AS TREE PROTECTION FENCING PROVIDED REQUIREMENTS ON 2/L110 ARE MET.

LANDSCAPE ARCHITECTURE DRAWINGS

Tree Preservation Plan

LEGEND

PROPERTY LINE	
LIMIT OF WORK	
EXISTING BUILDING	
EXISTING TREE TO REMAIN	
EXISTING TREE TO BE REMOVED	
TREE PROTECTION FENCING	



SCALE: 1" = 40'-0"



0' 10' 20' 40' 80'

NOTES

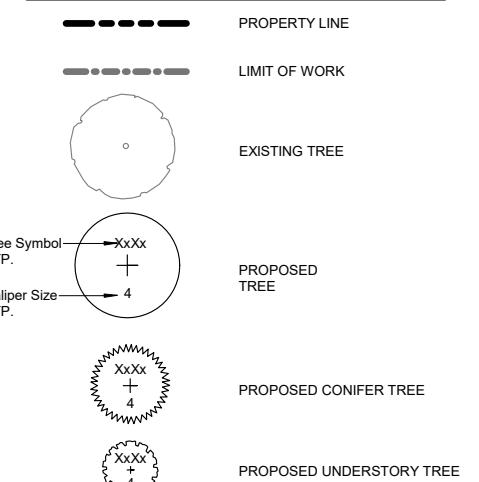
- ALL AREAS NOT COVERED BY BUILDINGS OR PAVEMENT AND WHICH HAVE BEEN GRADED OR OTHERWISE DISTURBED SHALL BE TOPSOILED AND SEEDED, UNLESS SHOWN OTHERWISE.
- ALL TREES OUTSIDE THE BUILDING AND PAVED AREAS SHALL REMAIN AND BE PROTECTED DURING CONSTRUCTION, UNLESS SPECIFICALLY DESIGNATED TO BE REMOVED. PRIOR TO REMOVAL, THE CONTRACTOR SHALL ARRANGE AN ON-SITE MEETING WITH THE LANDSCAPE ARCHITECT TO REVIEW THE CLEARING LIMIT LINES. VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO EXCAVATION OR PLANT PITS.
- P.B. = PLANT BED. MULCH ALL PLANT BEDS TO A DEPTH OF 2". BEDS SHALL BE KEPT 1" MIN AWAY FROM TRUNK OF ALL TREES, SHRUBS, TREE FERNS, AND FOLIAGE OF ALL PERENNIALS.
- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN IN THE DRAWINGS.
- CONTRACTOR SHALL REMOVE ALL HARD LUMPS OF CLAY, STONES OVER 1" IN DIAMETER, AND ALL CONSTRUCTION DEBRIS INCLUDING GRAVEL, ROOTS, LIMBS AND OTHER DELETERIOUS MATTER WHICH WOULD BE HARMFUL, OR PREVENT PROPER ESTABLISHMENT AND/OR MAINTENANCE OF LAWN AND PLANTING AREAS.
- ALL TREES SHALL CONFORM TO GUIDELINES ESTABLISHED BY 'THE AMERICAN STANDARD FOR NURSERY STOCK' PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (LATEST EDITION).
- NO TREES SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING. TREES SHALL BEAR SAME RELATIONSHIP TO FINISHED GRADE AS TO ORIGINAL GRADE PRIOR TO DIGGING.
- ALL PLANTS SHALL BE BALLED IN BURLAP OR CONTAINER GROWN UNLESS OTHERWISE NOTED IN THE PLANTING SCHEDULE.
- ALL PLANTS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO THEIR ARRIVAL ON THE SITE.
- THE CONTRACTOR SHALL LOCATE AND VERIFY UTILITY LINE LOCATIONS PRIOR TO PLANTING AND REPORT ANY CONFLICTS TO THE LANDSCAPE ARCHITECT.
- THE LAYOUT OF PLANTS IN THE FIELD IS TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.

Tree Schedule				
Plant Common Name	Plant Scientific Name	Plant Code	Count	Plant Caliper Size (Inches)
	TEST		1	
Austrian Pine	<i>Pinus nigra</i>	PiNi	2	4
Eastern Redbud	<i>Cercis canadensis</i>	CeCa	4	2
Flowering Dogwood	<i>Cornus florida</i>	CoFl	4	2
Horse Chestnut	<i>Aesculus hippocastanum</i>	AeHi	1	4
Lacebark Elm	<i>Ulmus parvifolia</i>	UlPa	3	4
Little Leaf Linden	<i>Tilia cordata</i>	TiCo	2	4
London Plane Tree	<i>Platanus occidentalis</i> x <i>orientalis</i>	PIOo	1	4
Red Crabapple	<i>Malus 'Prairifire'</i>	MaPr	2	2
Red Horsechestnut	<i>Aesculus carnea</i> x <i>hippocastanum</i>	AeCa	1	2
Scotch Pine	<i>Pinus sylvestris</i>	PiSy	2	4
Shumard Oak	<i>Quercus shumardii</i>	QuSh	3	4
Star Magnolia	<i>Magnolia stellata</i>	MaSt	2	2
Sugar Maple	<i>Acer Saccharum 'Baileya' FALL FIESTA</i>	AcSa	2	4
Swamp White Oak	<i>Quercus bicolor</i>	QuBi	2	4
Thornless Honey Locust	<i>Gleditsia triacanthos</i>	GiTr	4	4
Tricolor European Beech	<i>Fagus sylvatica 'Tricolor'</i>	FaSy	1	2
Trident Maple	<i>Acer buergerianum</i>	AcBu	3	2
White Crabapple	<i>Malus 'Bob White'</i>	MaBw	4	2
Willow Oak	<i>Quercus phellos</i>	QuPh	3	4

LANDSCAPE ARCHITECTURE DRAWINGS

Planting Plan - Trees

LEGEND



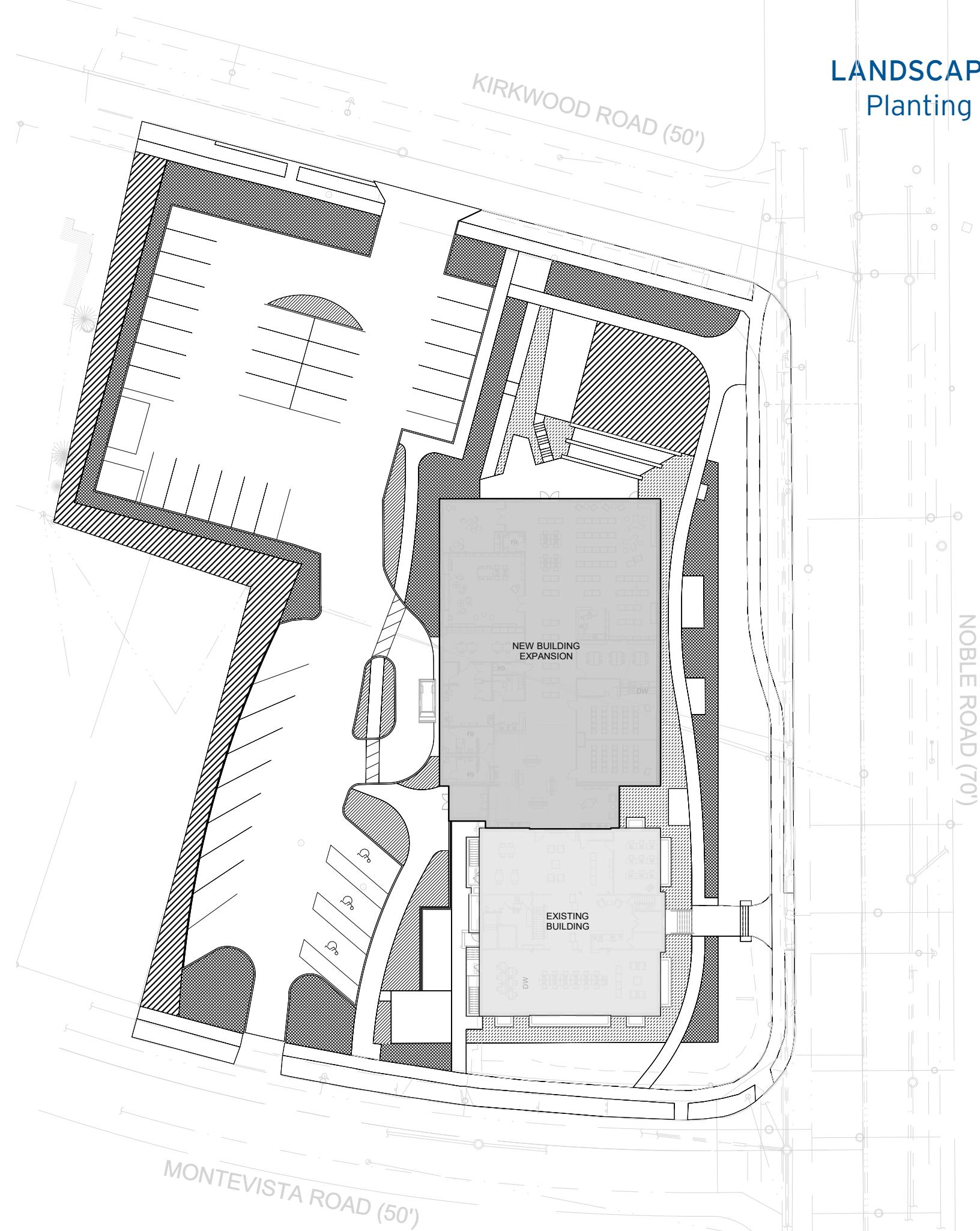
LANDSCAPE ARCHITECTURE DRAWINGS

Planting Plan - Shrubs and Groundcover

NOTES

- ALL AREAS NOT COVERED BY BUILDINGS OR PAVEMENT AND WHICH HAVE BEEN GRADED OR OTHERWISE DISTURBED SHALL BE TOPSOILED AND SEDED, UNLESS SHOWN OTHERWISE.
- ALL TREES OUTSIDE THE BUILDING AND PAVED AREAS SHALL REMAIN AND BE PROTECTED DURING CONSTRUCTION, UNLESS SPECIFICALLY DESIGNATED TO BE REMOVED. PRIOR TO REMOVAL, THE CONTRACTOR SHALL ARRANGE AN ON-SITE MEETING WITH THE LANDSCAPE ARCHITECT TO REVIEW THE CLEARING LIMIT LINES. VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO EXCAVATION OR PLANT PITS.
- P.B. = PLANT BED. MULCH ALL PLANT BEDS TO A DEPTH OF 2". BEDS SHALL BE KEPT 1" MIN AWAY FROM TRUNK OF ALL TREES, SHRUBS, TREE FERNS, AND FOLIAGE OF ALL PERENNIALS.
- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN IN THE DRAWINGS.
- CONTRACTOR SHALL REMOVE ALL HARD LUMPS OF CLAY, STONES OVER 1" IN DIAMETER, AND ALL CONSTRUCTION DEBRIS INCLUDING GRAVEL, ROOTS, LIMBS AND OTHER DELETERIOUS MATTER WHICH WOULD BE HARMFUL, OR PREVENT PROPER ESTABLISHMENT AND/OR MAINTENANCE OF LAWN AND PLANTING AREAS.
- ALL TREES SHALL CONFORM TO GUIDELINES ESTABLISHED BY "THE AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (LATEST EDITION).
- NO TREES SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING. TREES SHALL BEAR SAME RELATIONSHIP TO FINISHED GRADE AS TO ORIGINAL GRADE PRIOR TO DIGGING.
- ALL PLANTS SHALL BE BALLED IN BURLAP OR CONTAINER GROWN UNLESS OTHERWISE NOTED IN THE PLANTING SCHEDULE.
- ALL PLANTS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO THEIR ARRIVAL ON THE SITE
- THE CONTRACTOR SHALL LOCATE AND VERIFY UTILITY LINE LOCATIONS PRIOR TO PLANTING AND REPORT ANY CONFLICTS TO THE LANDSCAPE ARCHITECT.
- THE LAYOUT OF PLANTS IN THE FIELD IS TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.

SCHEDULE - GROUNDCOVERS & PERENNIALS		
Mix Type	PLANTING AREA	PLANT SPACING
Groundcover Mix	1878 SF	3' O.C.
Woodland Understory Mix	2832 SF	3' O.C.
Evergreen Shrub Border Mix	8627 SF	5' O.C.
Lawn	5844 SF	N/A



LEGEND

- PROPERTY LINE
- LIMIT OF WORK
- GROUNDCOVER MIX
- WOODLAND UNDERSTORY MIX
- EVERGREEN SHRUB BORDER MIX
- LAWN

SCALE: 1" = 40'-0"





Green Sheen Japanese Spurge



Alpine Carpet Juniper



FloralBerry Sangria St. John's Wort (Native)



Turtlehead (Native)



Heartleaf Foamflower (Native)

GROUNDCOVER MIX



Cinnamon Fern (Native)



Sweetspire (Native)



Sichuan Jade Solomon's Seal (Native)



Little Goblin Red Winterberry Holly (Native)



Red-Twig Dogwood (Native)

WOODLAND UNDERSTORY MIX



Chestnut Hill Cherry Laurel



Leatherleaf Mahonia



Munchkin Oakleaf Hydrangea



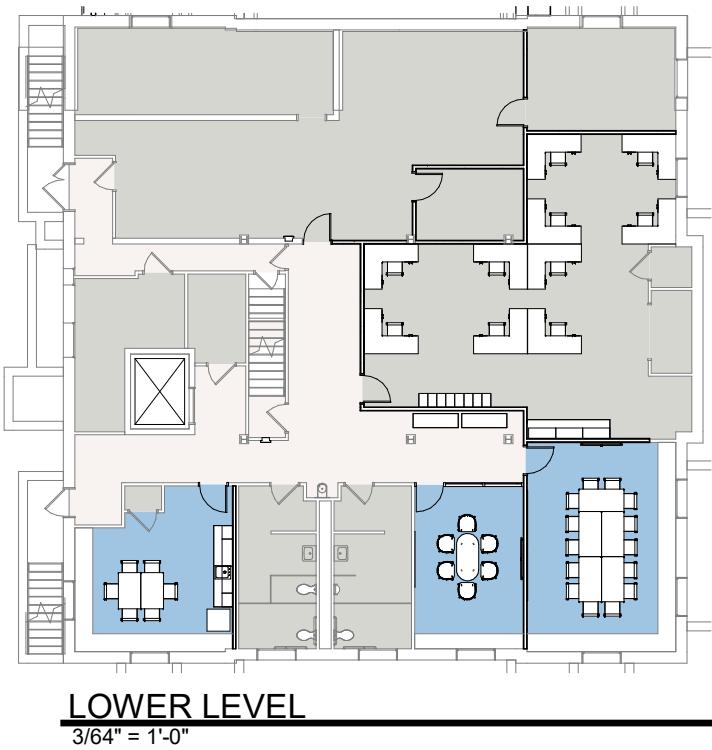
Scallywag Holly

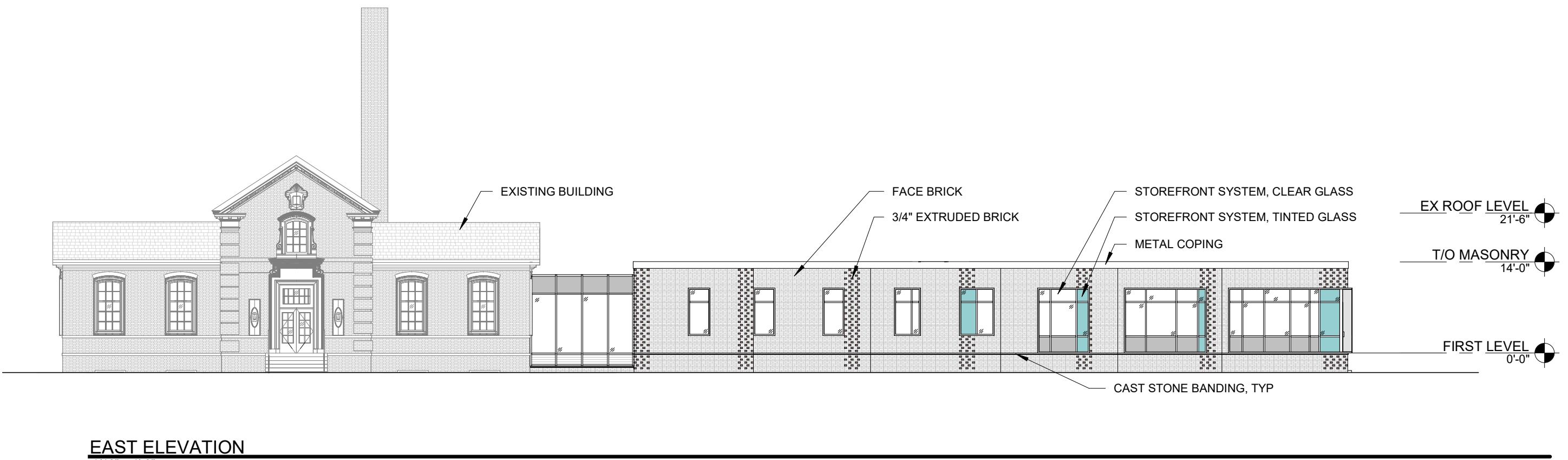


Sea Green Juniper

EVERGREEN SHRUB BORDER

- Adult
- Building Circulation
- Building Support
- Children
- Circulation Services
- Lounge
- Maker / Tech Space
- Meeting
- New Materials
- Public Access Computers
- Staff Work
- Teen





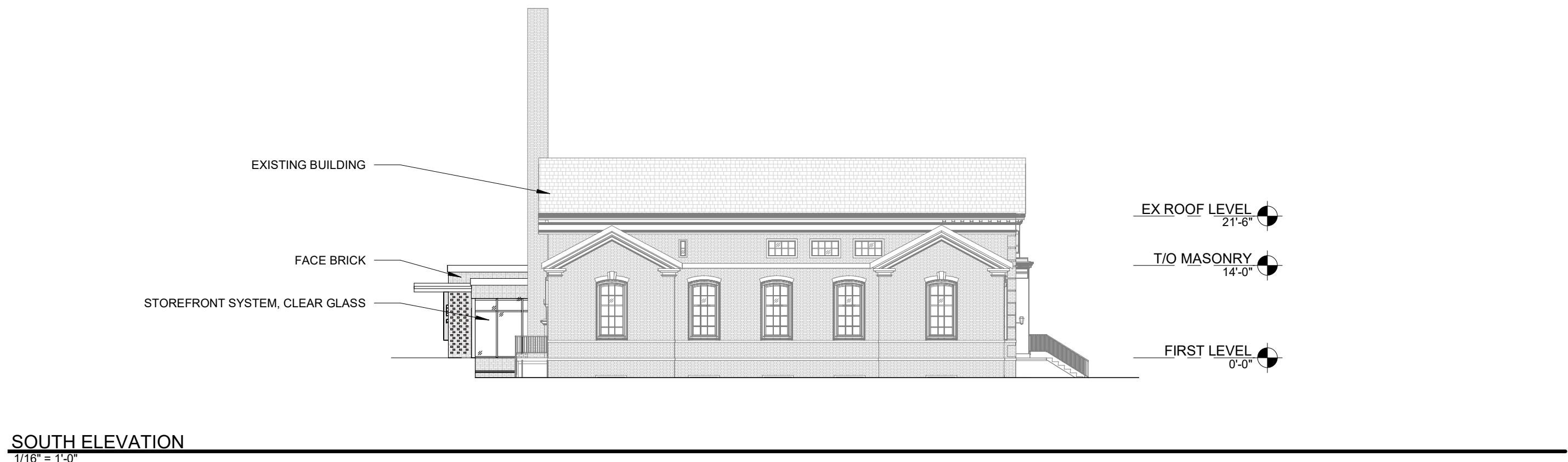
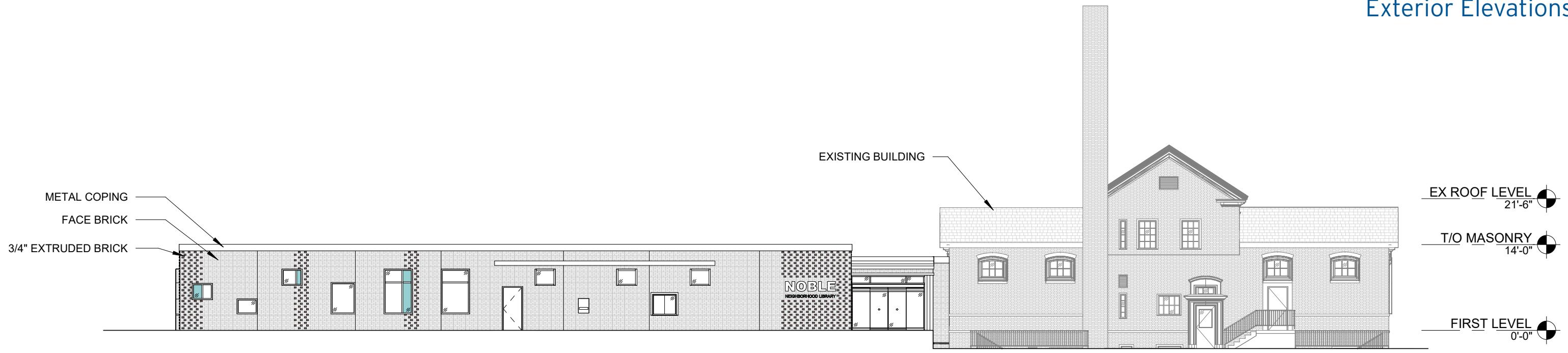
EAST ELEVATION

1/16" = 1'-0"



NORTH ELEVATION

1/16" = 1'-0"



ARCHITECTURAL DRAWINGS
Exterior Rendering and Materials



EXISTING
BRICK



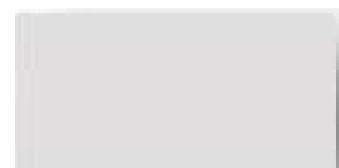
BRICK
PATTERN



TINTED
GLAZING



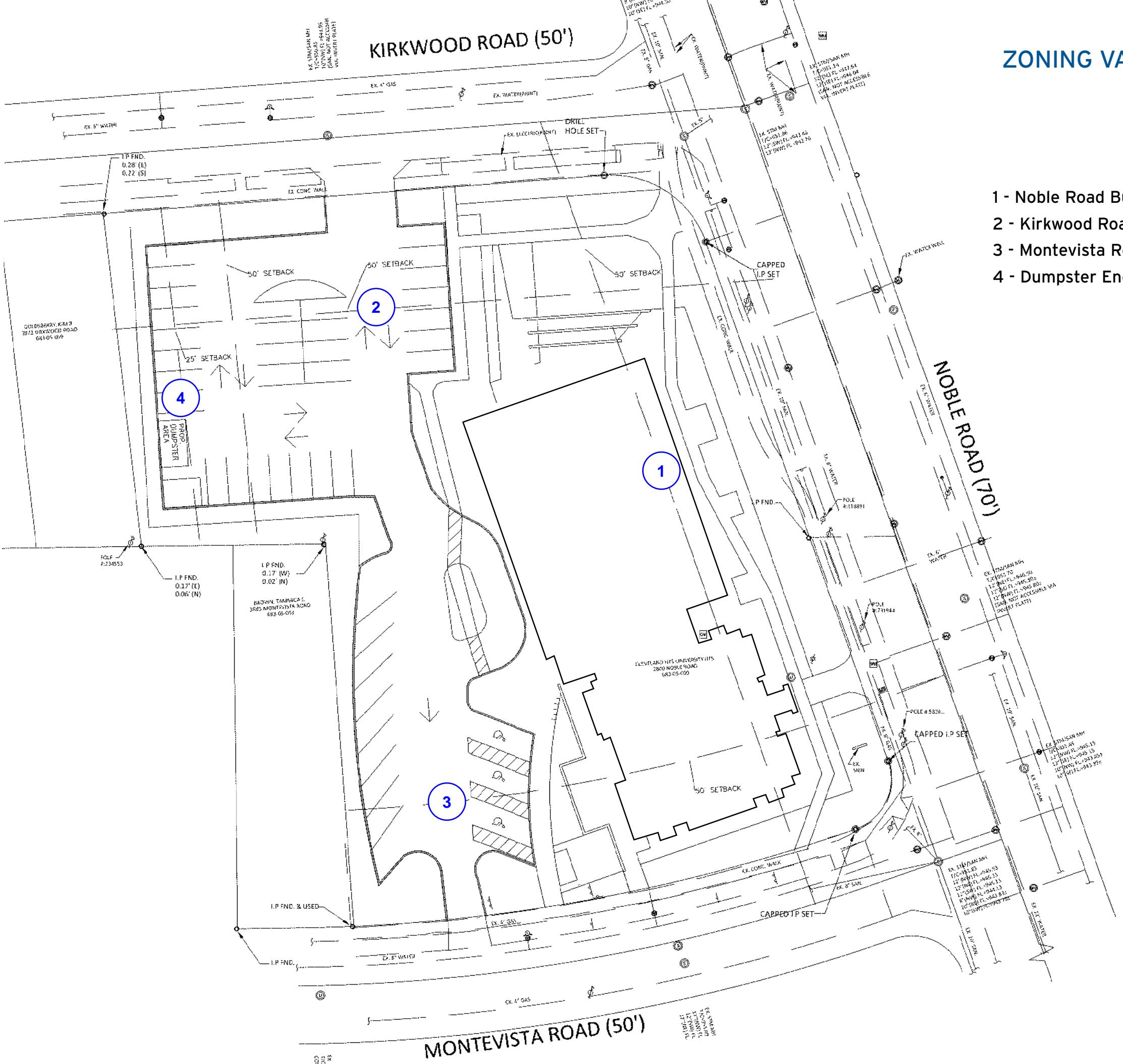
PARAPET
FINISH



STOREFRONT
FINISH

ZONING VARIANCE REQUEST

For Reference



- 1 - Noble Road Building Setback
- 2 - Kirkwood Road Parking Lot Setback
- 3 - Montevista Road Parking Lot Setback
- 4 - Dumpster Enclosure Setback

SCALE: 1" = 40'-0"



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