

Reduction in Required Enclosed Parking

Description:

In consideration of 1161.05 Modification of Number of required parking spaces we are proposing to reduce the number of parking spaces for this single family residence from 2 spaces to one (please see attached sketch) under 1161.051 iv. The area that would have housed the driveway will be replaced with grass, increasing the amount of green space.



Elevation A - Sheet List

Sheet Number	Sheet Name
ElevA-Pg1	Front & Rear Elevations
ElevA-Pg2	Side Elevations
ElevA-Pg3	Basement Floor Plan
ElevA-Pg4	1st Floor Plan
ElevA-Pg5	2nd Floor Plan
ElevA-Pg6	Roof Plan
ElevA-Pg7	Electrical Plan
ElevA-Pg7a	Electrical Plan
Pg8b	Building Section
Pg9	Interior Elevations
PgD1	Details 1
PgD2	Details 2

2019 RESIDENTIAL OHIO CODE
 ENERGY EFFICIENT COMPLIANCE - OHBA COMPLIANCE PATH #2
 (SECTION 1112 - INCLUDING ALL MANDATORY ITEMS)

- CEILINGS - R 49
- EXTERIOR SIDEWALLS - R 13
- RIM JOISTS - R 13
- FLOOR OVER UNHEATED SPACES - R 30
- FOUNDATION WALLS - R 10 minimum 4 FT. DOWN (ALL WALLS)
- WINDOWS .32 U VALUE

CONTRACTOR AND BUILDER SHALL REVIEW
 ENTIRE PLAN TO VERIFY CONFORMANCE WITH
 ALL CURRENT APPLICABLE CODES IN EFFECT AT
 TIME OF CONSTRUCTION. BY USING THESE
 DRAWINGS FOR CONSTRUCTION IT IS
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① Front Elevation - Elev A
 1/8" = 1'-0"



② Rear Elevation - Elev A
 1/8" = 1'-0"

Area Schedule
(Elev B)

Name	Area
Heated	
1st Floor	1471 SF
2nd Floor	1467 SF
Basement	1471 SF
	4409 SF
Unheated	
Front Porch	36 SF
Garage	196 SF
	232 SF
Under Roof	4641 SF

2502 RH - Elevation A

Front & Rear Elevations

Lot #:

Job #:

Address:
 3421 Desota Ave.
 Clev. Hts., OH 44118

Community:

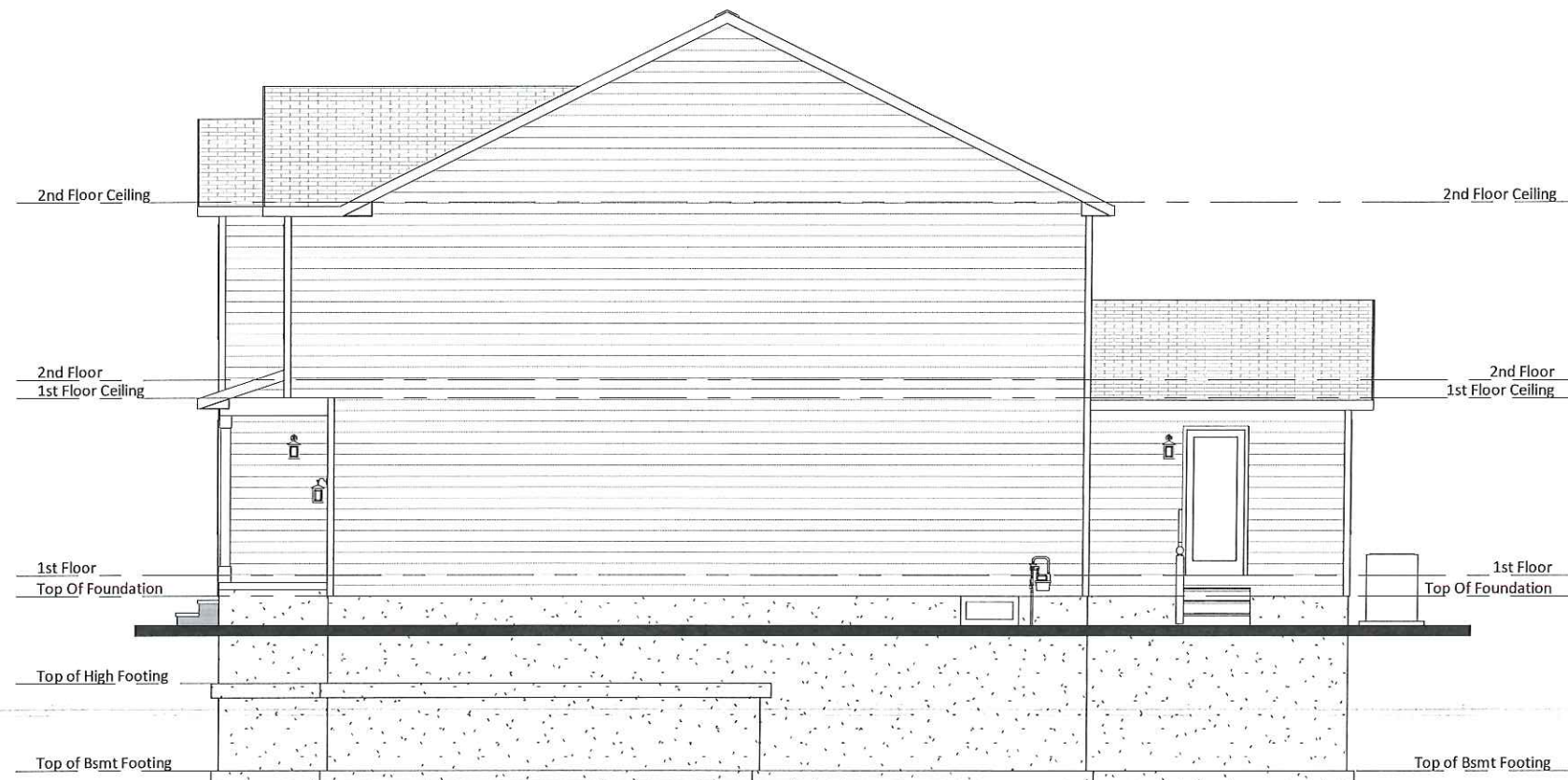
Last Revision Date:

7-5-22

Sheet #:
 ElevA-Pg1



① Left Elevation - Elev A
1/8" = 1'-0"



② Right Elevation - Elev A
1/8" = 1'-0"



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2502 RH - Elevation A

Side Elevations

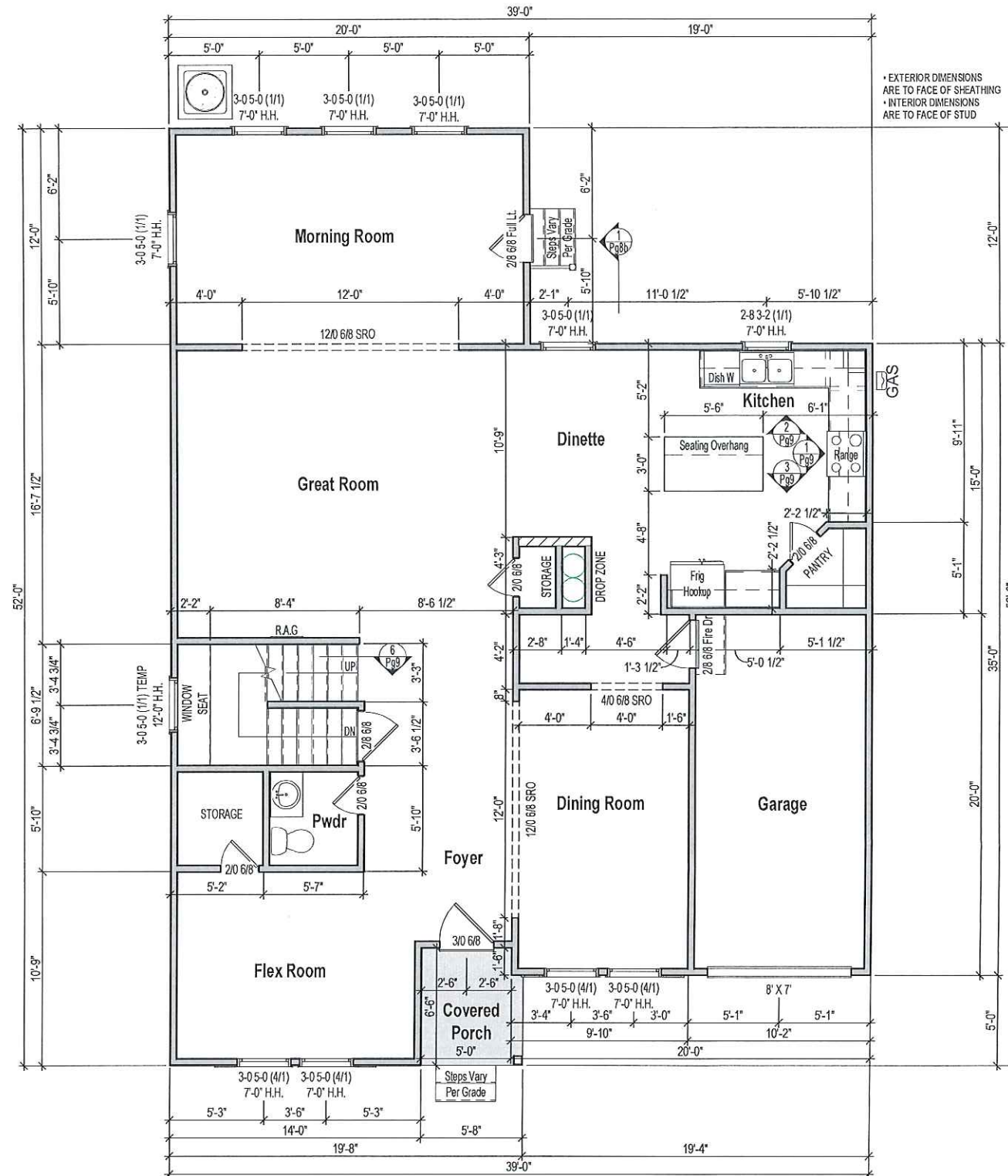
Job #: Lot #:
Address: 3421 Desota Ave.
Clev. Hts., OH 44118
Community:

Last Revision Date:

7-5-22

Sheet #:

ElevA-Pg2



1 1st Floor Plan - Elev A
1/8" = 1'-0"

TABLE R302.6 Dwelling/Garage Separation	
Separation	Material
From the residence and attics	Not less than 1/2-inch gypsum board or equivalent applied to the garage side
From all habitable rooms above the garage	Not less than 5/8-inch Type X gypsum board or equivalent
Structure(s) supporting floor-ceiling assemblies used for separation required by this section	Not less than 1/2-inch gypsum board or equivalent

Wall Stud Size
 — = 2x4
 // = 2x6



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2502 RH - Elevation A

1st Floor Plan

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 Community:

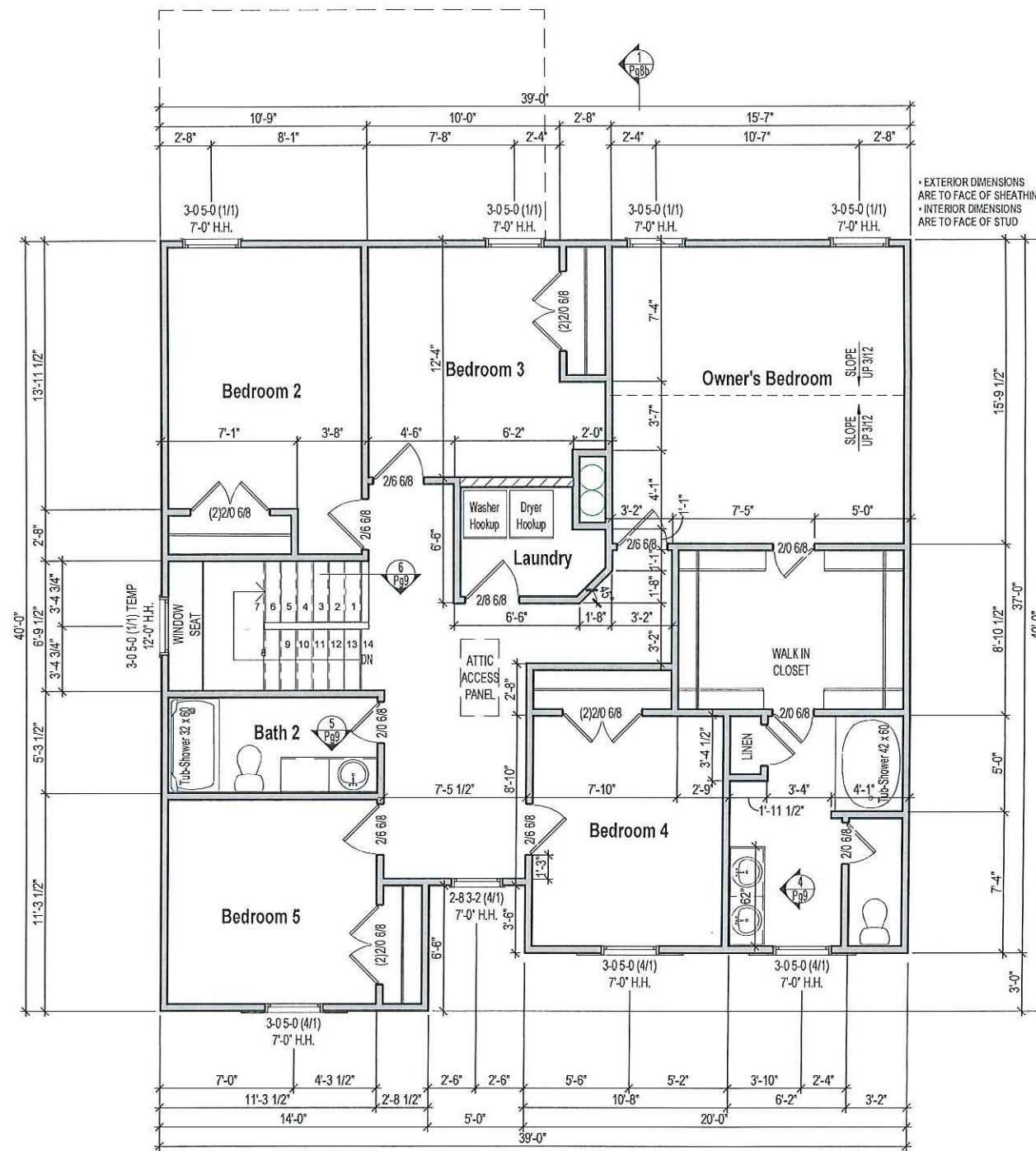
Last Revision Date:

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Sheet #:

ElevA-Pg4

Wall Stud Size
 = 2x4
 = 2x6



1 2nd Floor Plan - Elev A
 1/8" = 1'-0"



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2502 RH - Elevation A

2nd Floor Plan

Lot #:
 Job #:
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 3421 Desota Ave.
 Clev. Hts., OH 44118
 Community:

Last Revision Date:
 7-5-22

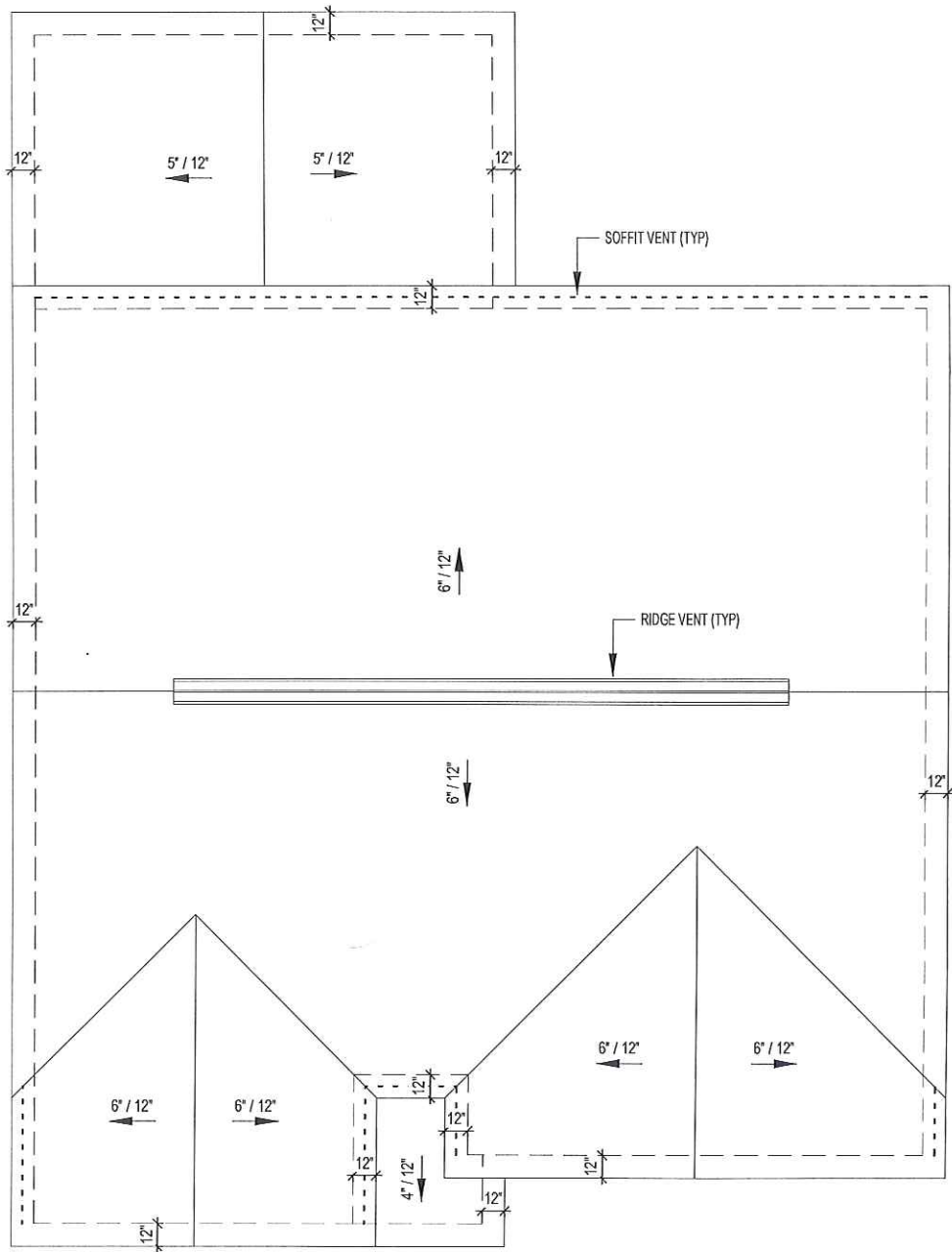
Sheet #:
 ElevA-Pg5

Attic Ventilation Calcs

Name	Area	Ventilation Required (sq.in.)	Max Upper (sq.in.)	Min Upper (sq.in.)	Upper Ventilation (sq.in.)	Lower Ventilation (sq.in.)	Total Ventilation (sq.in.)	Ridge Vent (ln.ft.)	Roof Vents (ea)	Soffit Vents (sq.ft.)
Main Roof	1468 SF	704	564	352	405	366	771	27	0	61

CALCS BASED ON THE FOLLOWING VALUES

- Ridge Vents = 15 in² of net free area per linear foot
- Roof Vents = 50 in² of net free area per unit
- Soffit Vents = 6 in² of net free area per square foot



① Roof Plan - Elev A
1/8" = 1'-0"



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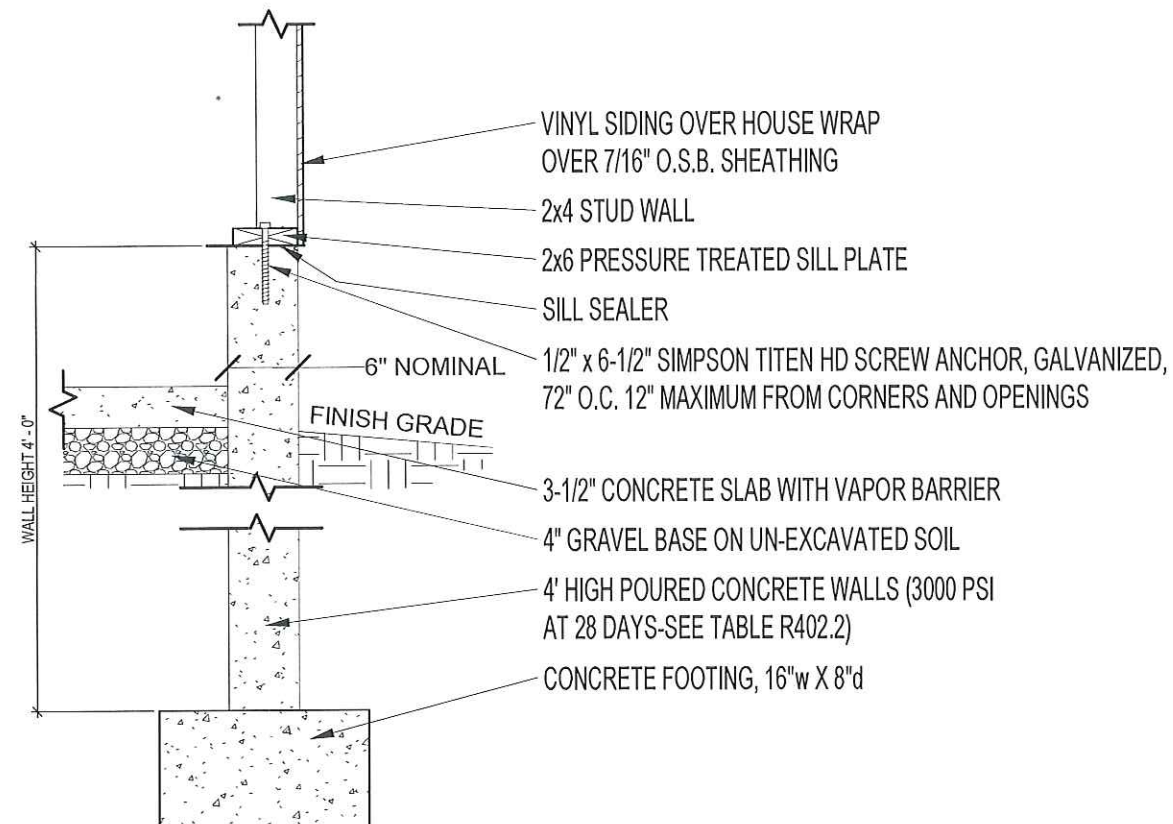
2502 RH - Elevation A

Roof Plan

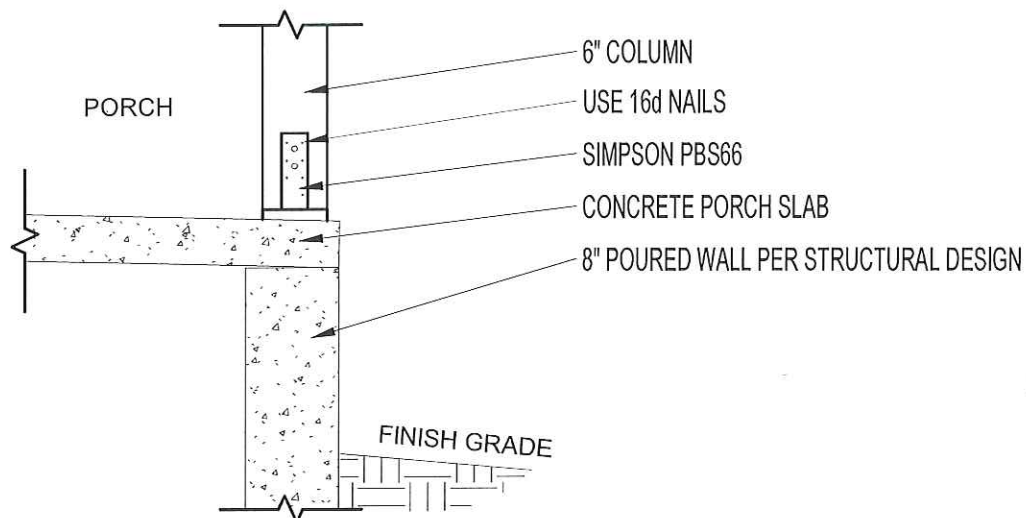
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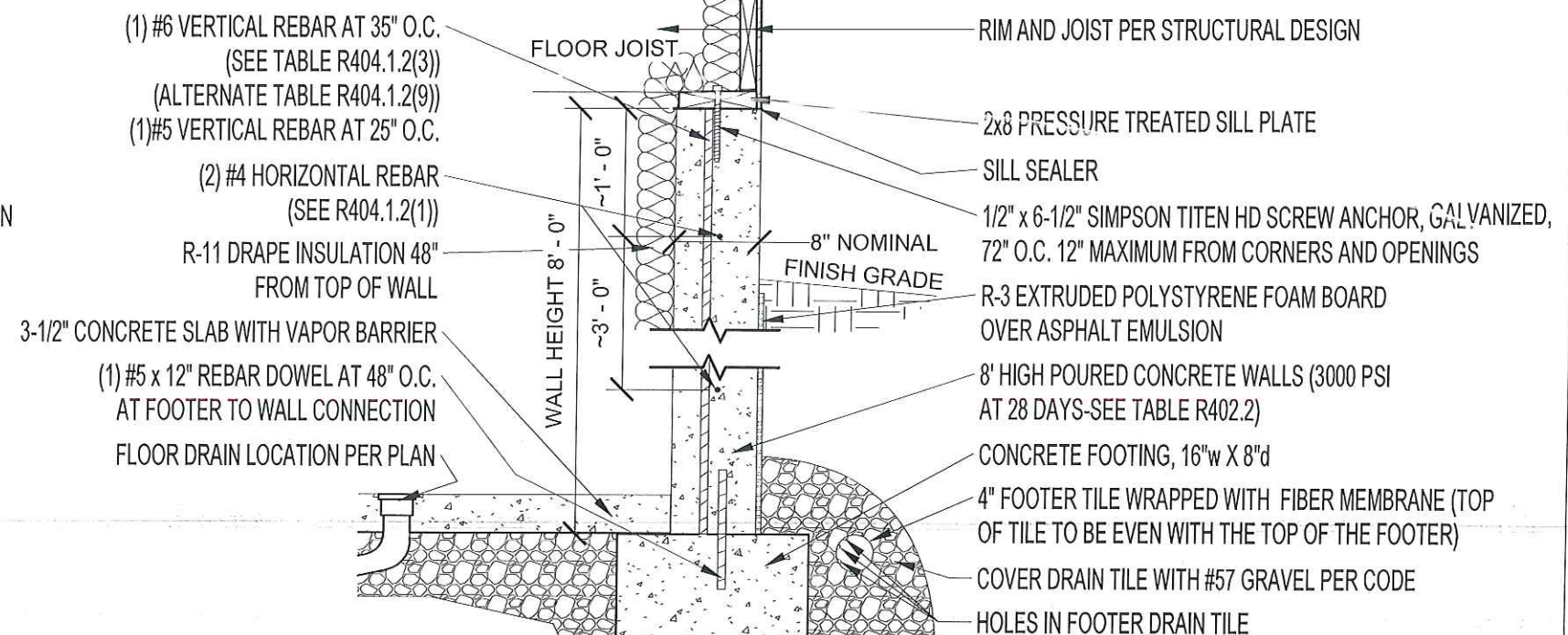
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ElevA-Pg6



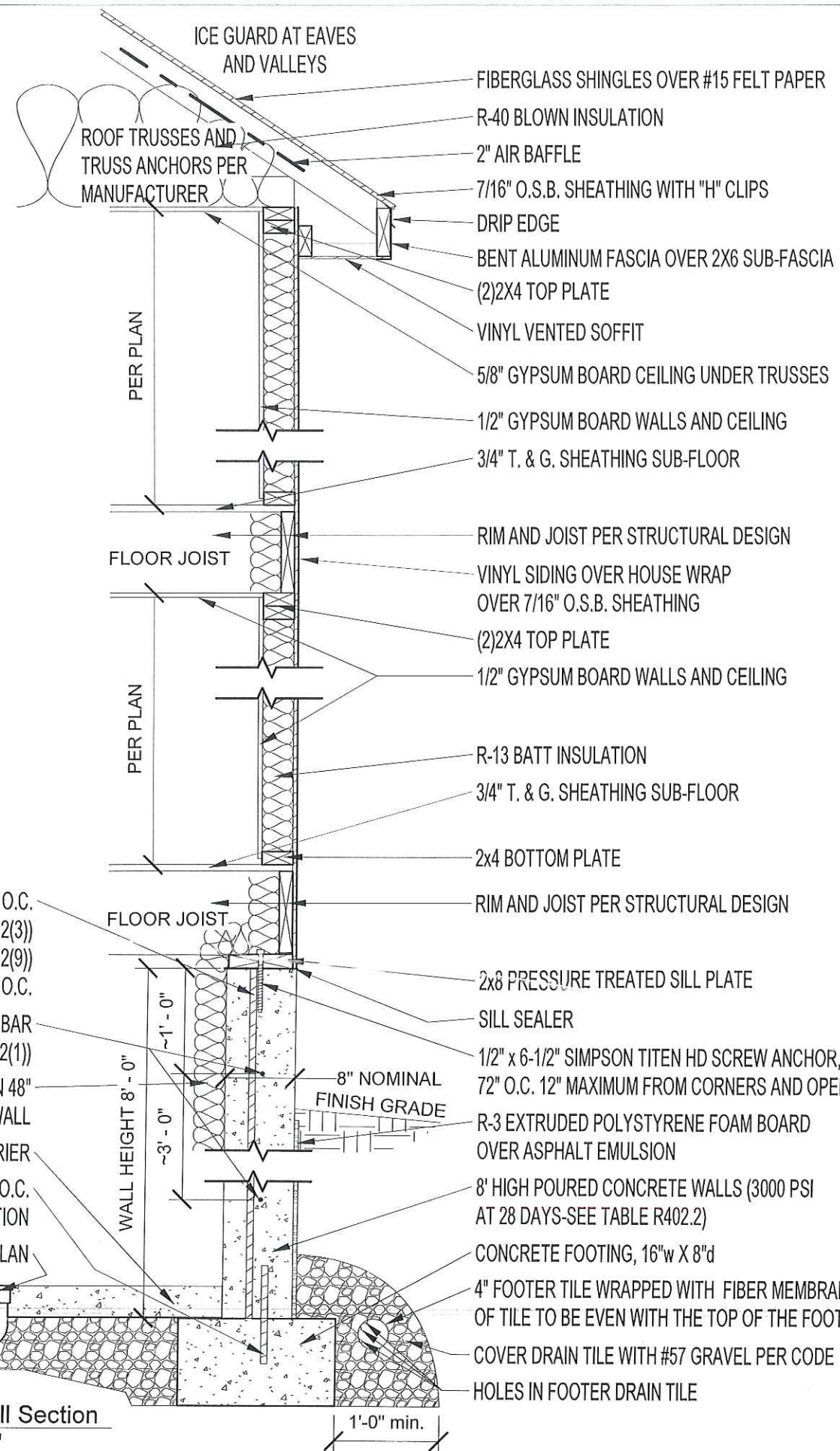
2 Garage Wall Section
3/4" = 1'-0"



3 Porch Column Detail
3/4" = 1'-0"



1 Typical Wall Section
3/4" = 1'-0"



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2502 RH - Elevation A

Details 1

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Job #:

Address:
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Community:

Last Revision Date:

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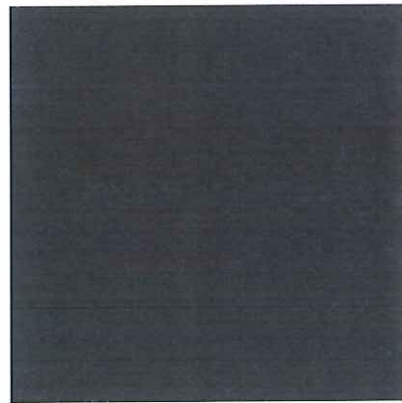
PgD1



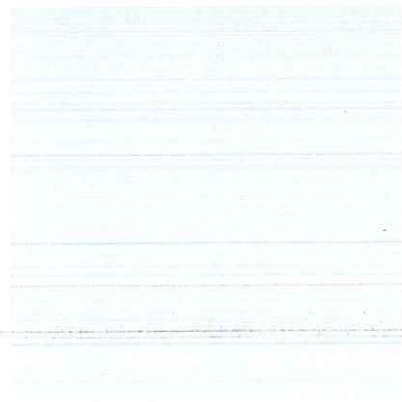
ROOF
PEWTER



SIDING
GREYSTONE



DOOR & SHUTTERS
SW 7048



GARAGE DOOR
SW 7008



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2505 RH – Elevation A

Material Palette

Lot #:

Job #:

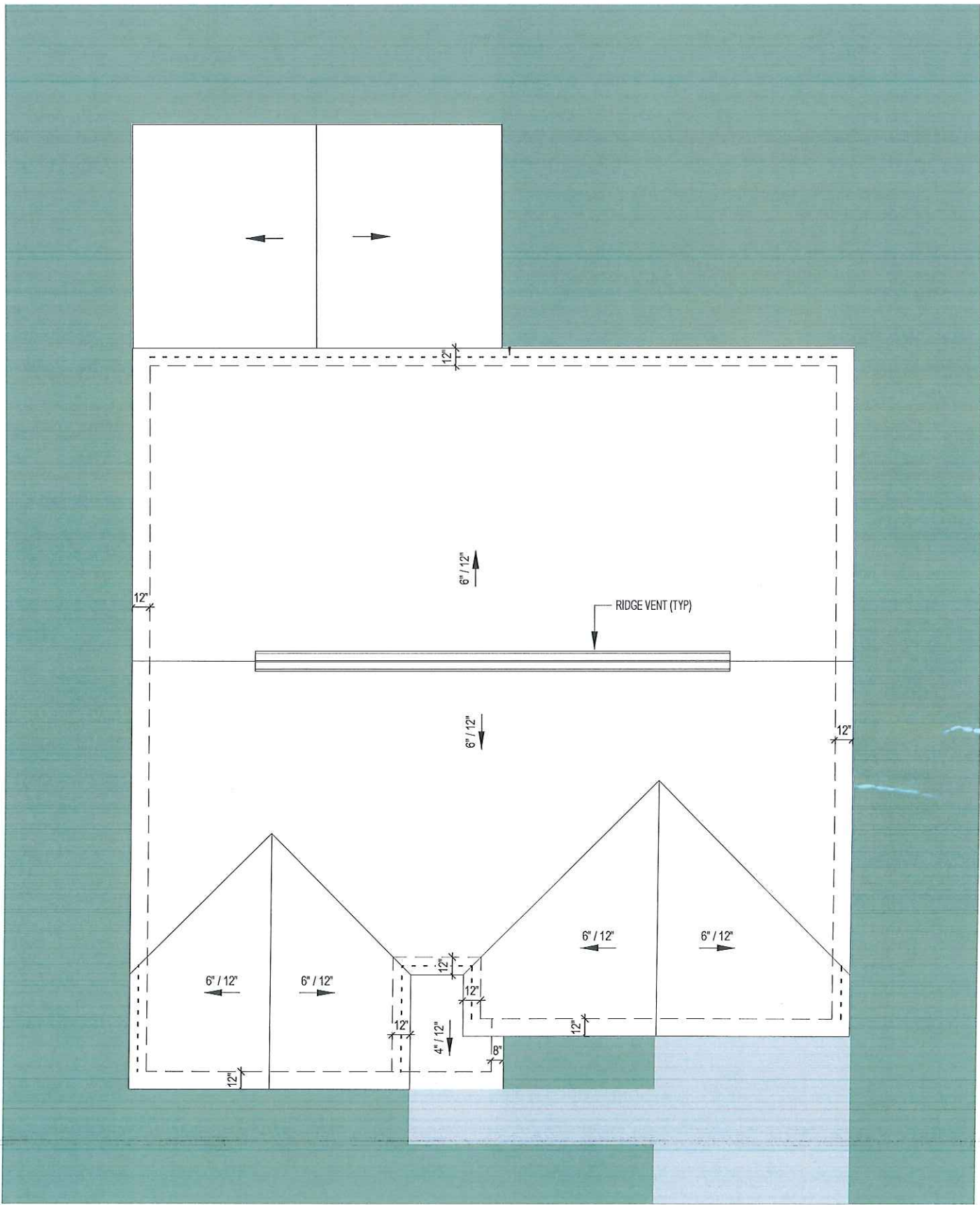
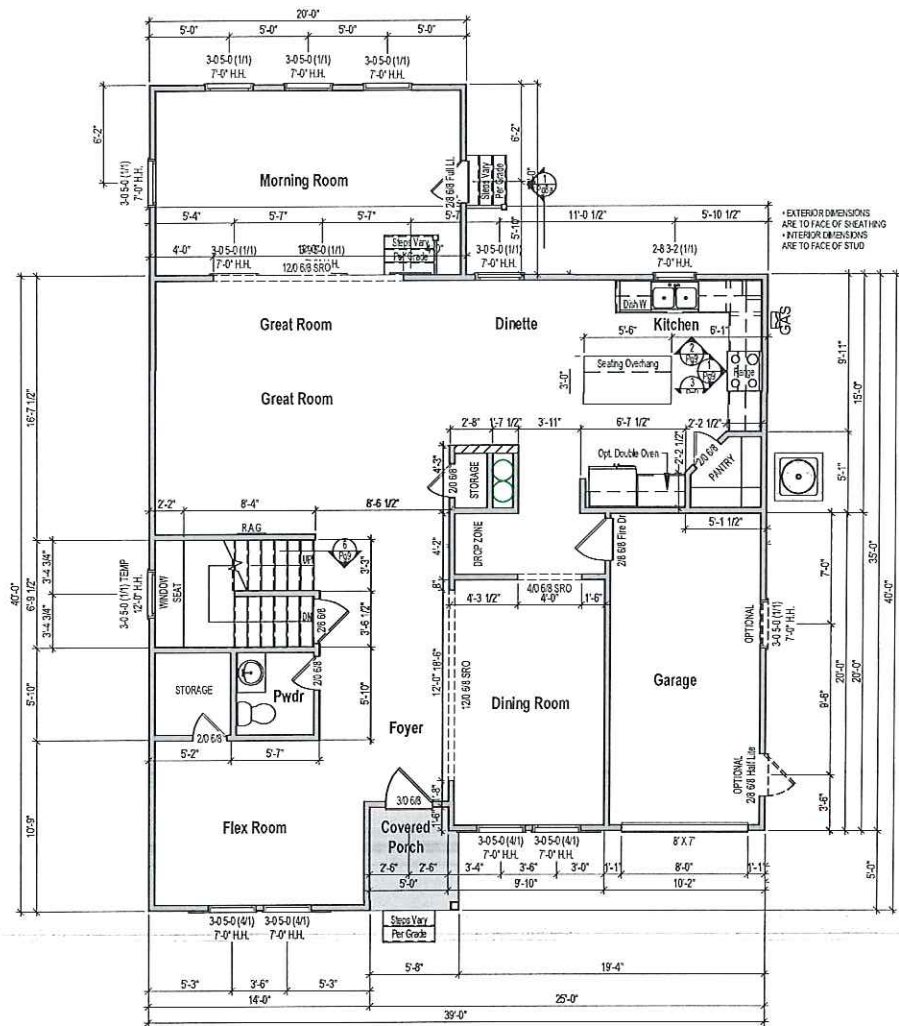
Address:

Community:

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5-26-22

Sheet #:



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2505 RH – Elevation A

Roof Plan

Lot #:

Job #:

Address:

Community:

Last Revision Date:

5-26-22

Sheet #:



