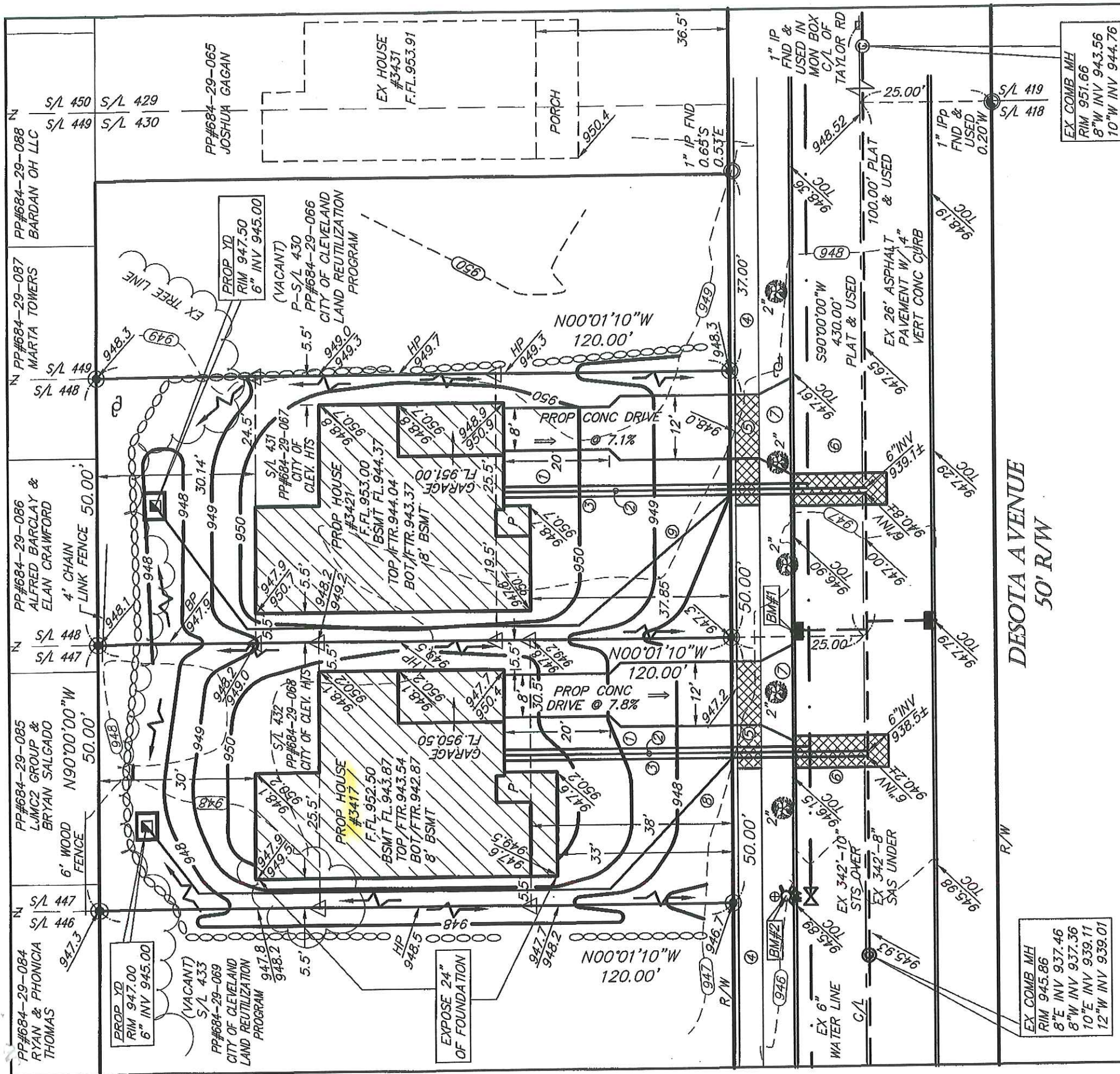


Reduction in Required Enclosed Parking

Description:

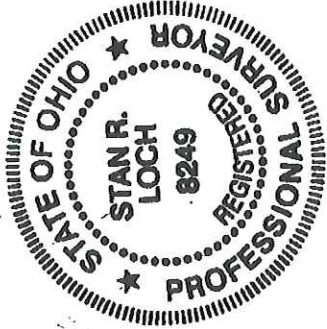
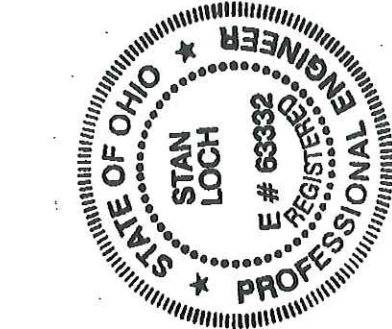
In consideration of 1161.05 Modification of Number of required parking spaces we are proposing to reduce the number of parking spaces for this single family residence from 2 spaces to one (please see attached sketch) under 1161.051 iv. The area that would have housed the driveway will be replaced with grass, increasing the amount of green space.

22-15



- ① = PROP 1" TYPE "K" WAT CONN
- ② = PROP 6" PVC SDR 35 SAS CONN @ 1% MIN
- ③ = PROP 6" PVC SDR 35 STS CONN @ 1% MIN
- ④ = EX 4.5' CONC SIDEWALK
- ⑤ = CONC SIDEWALK TO BE REPLACED
- ⑥ = PROP 6'x18" ASPHALT PAVEMENT REPLACEMENT & 6' LONG 6" CONC VERT CURB PLACEMENT
- ⑦ = PROP 18" CONC APRON
- ⑧ = PROP 128'-6" PVC SDR 35 STS @ 1% MIN
- ⑨ = PROP 130'-6" PVC SDR 35 STS @ 1% MIN

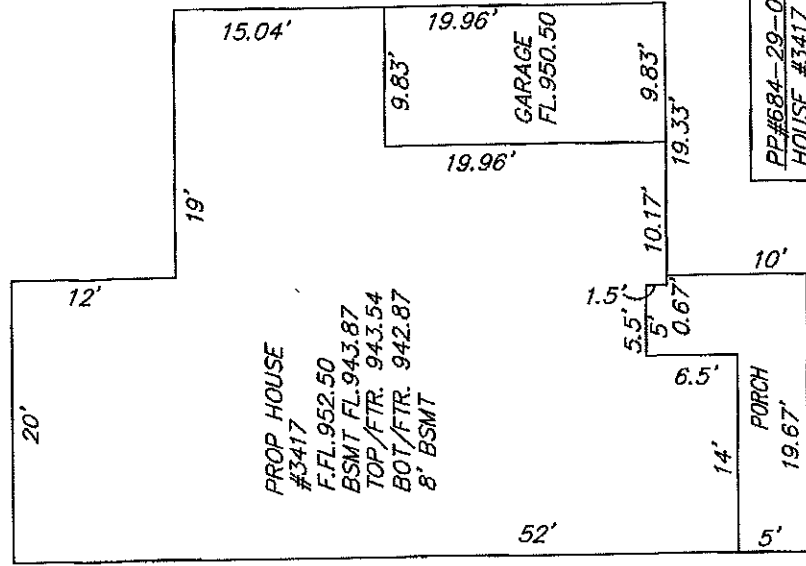
DATE OF SURVEY
JUNE 1ST, 2022



I CERTIFY THAT THIS PLAN WAS PREPARED
BY ME AND IS CORRECT TO THE BEST OF
MY KNOWLEDGE AND BELIEF

STAN R. LOCH P.E. #63332 DATE
6-13-2022

4425 WARNER ROAD - SUITE 12 VALLEY VIEW, OHIO 44225		440-602-9071 FAX 216-368-0259		SITING PLAN FOR AMATO HOMES #3417 DESOTA AVENUE PP#684-29-068 MINOR HEIGHTS LAND COS SUB. PLAT VOLUME 41, PAGE 17 CITY OF CLEVELAND HEIGHTS CUYAHOGA COUNTY, OHIO	
HORIZ. SCALE: 1"=20'	VERT. SCALE:	DRAWN BY: CL	DATE: 6/3/2022	CHECKED BY: SRL	DRAWING NO.: 20223771
JOB NO.: 20223771	SHEET: 1 OF 2				
				NO. DATE	DESCRIPTION
				1 6/22	REVISED DRIVE CL



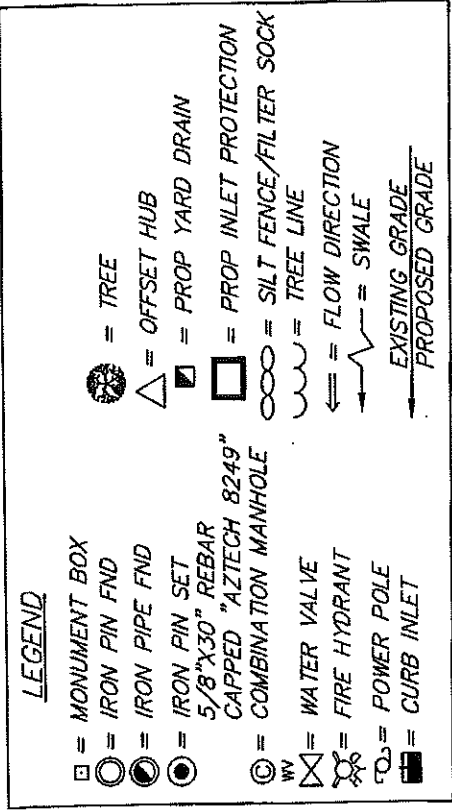
PP#684-29-068
HOUSE #3417
TYPE: 2502
ELEVATION: B
GARAGE: 1 CAR FRONT RT
OPTIONS: MORNING ROOM

REFERENCES:
MINOR HEIGHTS LAND CO'S SUBDIVISION
PLAT VOLUME 41, PAGE 17
DE SOTA AVENUE IMPROVEMENT PLANS
DATED: 1911
ALTA/NSPS SURVEY
BY SPAGNUOLO & ASSOCIATES, LLC
DATED: 5/25/2022

THE CONTRACTOR MUST CHECK
THE BENCHMARK WITH THE
CURB GRADES PRIOR TO
DIGGING THE FOUNDATION

BM#1
PRIMARY BENCHMARK
TOP OF CURB @ INLET
IN FRONT OF S/L'S 431/432
ELEV = 946.60

BM#2
SECONDARY BENCHMARK
TOP STEM OF HYDRANT
BETWEEN S/L'S 432/433
ELEV = 949.68



5425 WARNER ROAD - SUITE 12
VALLEY VIEW, OHIO 44125

440-602-9071

FAX 216-369-0259

AZTECH

ENGINEERING + SURVEYING
Civil Engineering + Land Surveying

HORIZ. SCALE: 1"=20'	VERT. SCALE:	SITE PLAN FOR			
DRAWN BY: CL	DATE: 6/3/2022	AMATO HOMES			
CHECKED BY: SRL	DRAWING NO.: 20223771	#3417 DESOTA AVENUE			
JOB NO.: 20223771	SHEET: 2 OF 2	PP#684-29-068			
		MINOR HEIGHTS LAND CO'S SUB.			
		PLAT VOLUME 41, PAGE 17			
		CITY OF CLEVELAND HEIGHTS			
		CUYAHOGA COUNTY, OHIO			
		NO.	DATE	DESCRIPTION	BY



① Left Elevation - Elev B
1/8" = 1'-0"



② Right Elevation - Elev B
1/8" = 1'-0"



CONTRACTOR AND BUILDER SHALL REVIEW ENTIRE PLAN TO VERIFY CONFORMANCE WITH ALL CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH ALL APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.

2502 RH - Elevation B

Side Elevations

Lot #:

Job #:

Address:
3417 Desota Ave.
Clev. Hts., OH 44118

Community:

Last Revision Date:

7-1-22

Sheet #:

ElevB-Pg2

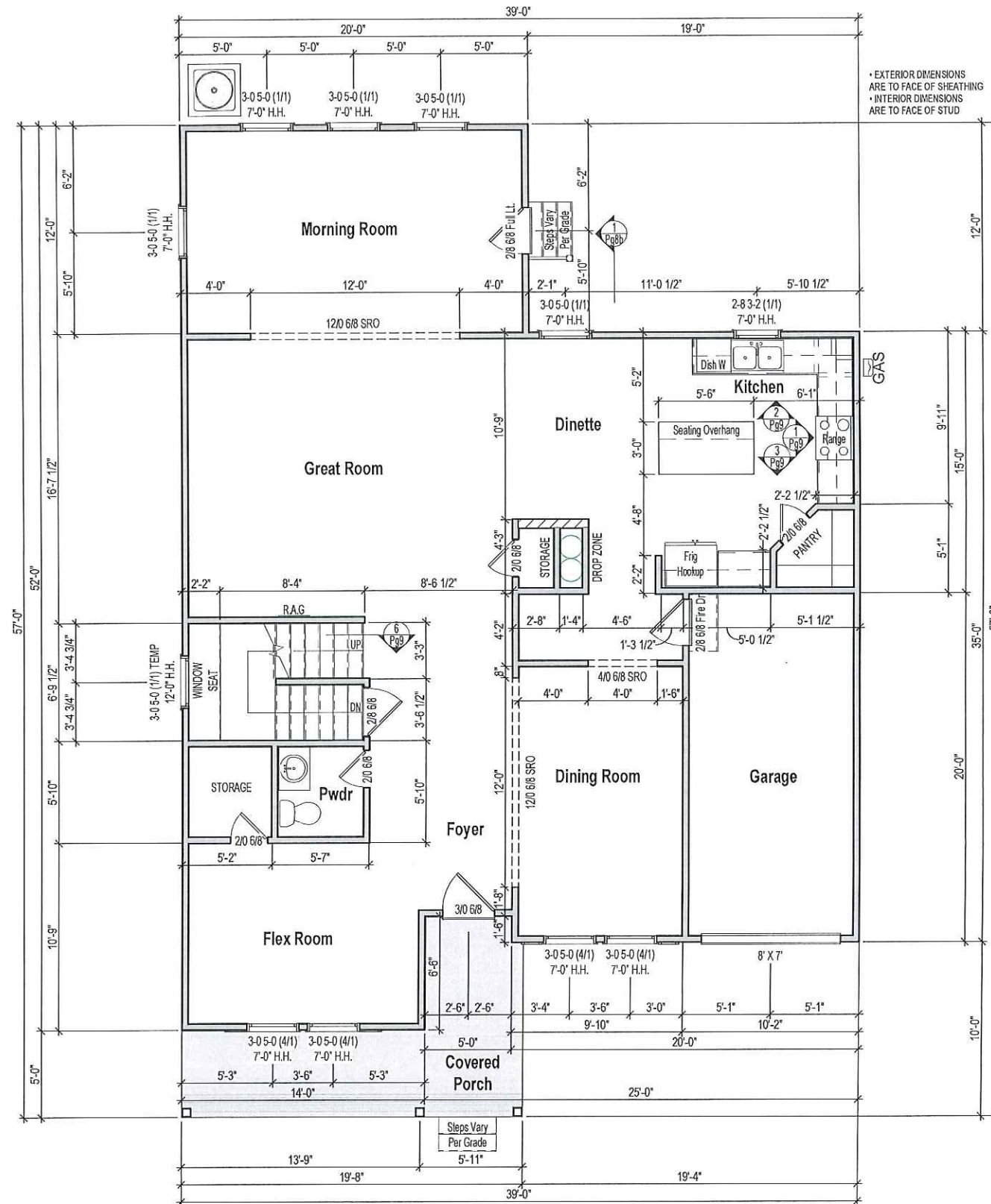


TABLE R302.6 Dwelling/Garage Separation	
Separation	Material
From the residence and attics	Not less than 1/2-inch gypsum board or equivalent applied to the garage side
From all habitable rooms above the garage	Not less than 5/8-inch Type X gypsum board or equivalent
Structure(s) supporting floor-ceiling assemblies used for separation required by this section	Not less than 1/2-inch gypsum board or equivalent

Wall Stud Size
 — = 2x4
 // = 2x6



CONTRACTOR AND BUILDER SHALL REVIEW ENTIRE PLAN TO VERIFY CONFORMANCE WITH ALL CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH ALL APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.

2502 RH - Elevation B

1st Floor Plan

1 1st Floor Plan - Elev B
 1/8" = 1'-0"

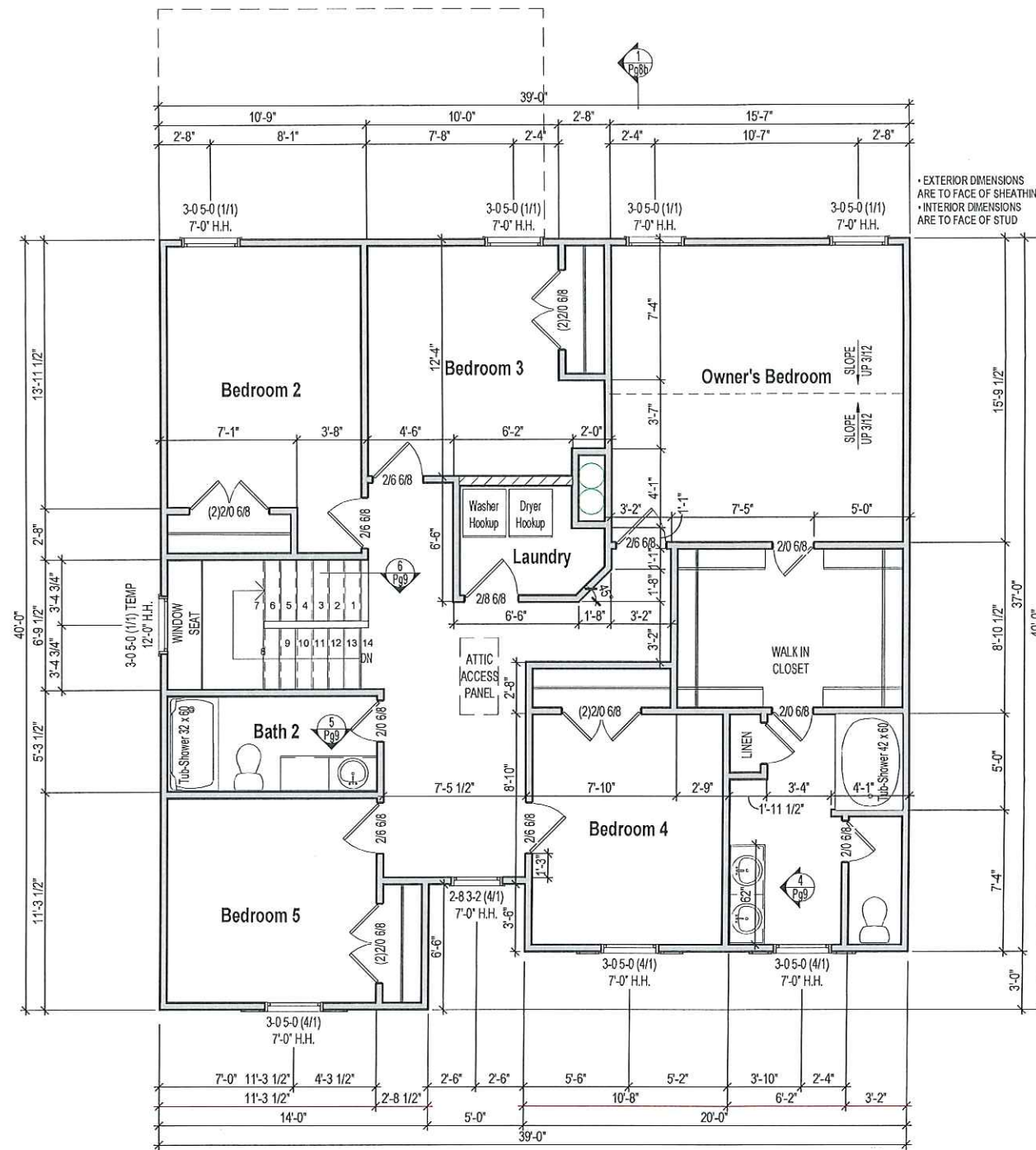
Job #: Lot #:
 Address: 3417 Desota Ave.
 Clev. Hts., OH 44118
 Community:

Last Revision Date:

7-1-22

Sheet #:
 ElevB-Pg4

Wall Stud Size
 = 2x4
 = 2x6



• EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING
 • INTERIOR DIMENSIONS ARE TO FACE OF STUD

1 2nd Floor Plan - Elev B
 1/8" = 1'-0"



CONTRACTOR AND BUILDER SHALL REVIEW ENTIRE PLAN TO VERIFY CONFORMANCE WITH ALL CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH ALL APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.

2502 RH - Elevation B

2nd Floor Plan

Job #: Lot #:
 Address: 3417 Desota Ave.
 Clev. Hts., OH 44118
 Community:

Last Revision Date:
 7-1-22

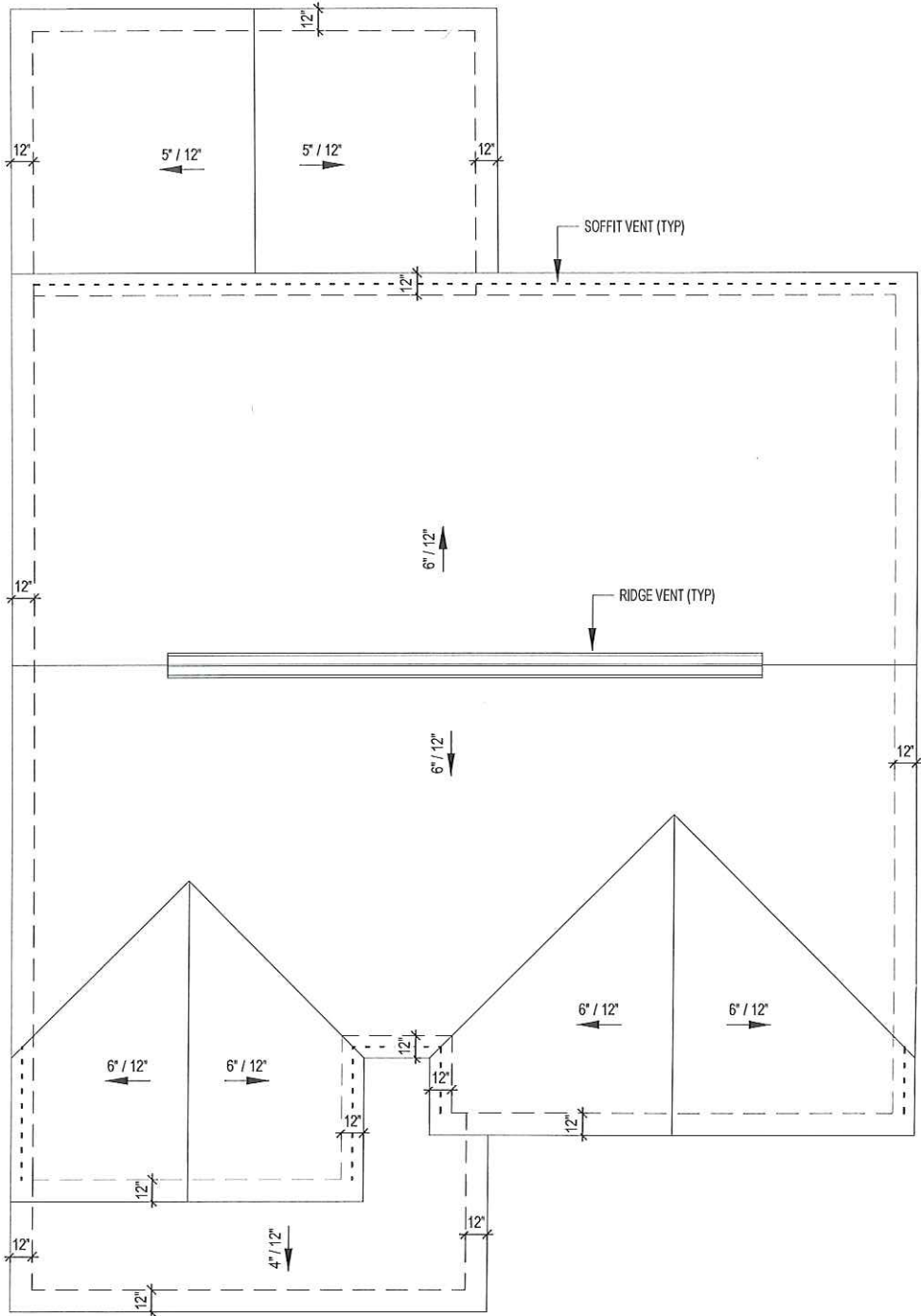
Sheet #:
 ElevB-Pg5

Attic Ventilation Calcs

Name	Area	Ventilation Required (sq.in.)	Max Upper (sq.in.)	Min Upper (sq.in.)	Upper Ventilation (sq.in.)	Lower Ventilation (sq.in.)	Total Ventilation (sq.in.)	Ridge Vent (ln.ft.)	Roof Vents (ea)	Soffit Vents (sq.ft.)
Main Roof	1468 SF	704	564	352	405	366	771	27	0	61

CALCS BASED ON THE FOLLOWING VALUES

- Ridge Vents = 15 in² of net free area per linear foot
- Roof Vents = 50 in² of net free area per unit
- Soffit Vents = 6 in² of net free area per square foot



1 Roof Plan - Elev B
1/8" = 1'-0"



CONTRACTOR AND BUILDER SHALL REVIEW
ENTIRE PLAN TO VERIFY CONFORMANCE WITH
ALL CURRENT APPLICABLE CODES IN EFFECT AT
TIME OF CONSTRUCTION. BY USING THESE
DRAWINGS FOR CONSTRUCTION IT IS
UNDERSTOOD THAT CONFORMANCE WITH ALL
APPLICABLE CODES IS THE RESPONSIBILITY OF
THE BUILDER AND CONTRACTOR.

2502 RH - Elevation B

Roof Plan

Lot #:

Job #:

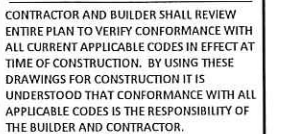
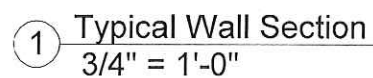
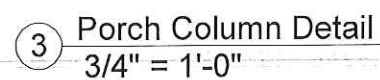
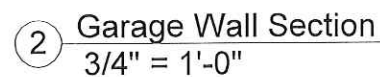
Address:
3417 Desota Ave.
Clev. Hts., OH 44118
Community:

Last Revision Date:

7-1-22

Sheet #:

ElevB-Pg6



2502 RH - Elevation B

Details 1

Lot #:

Job #:

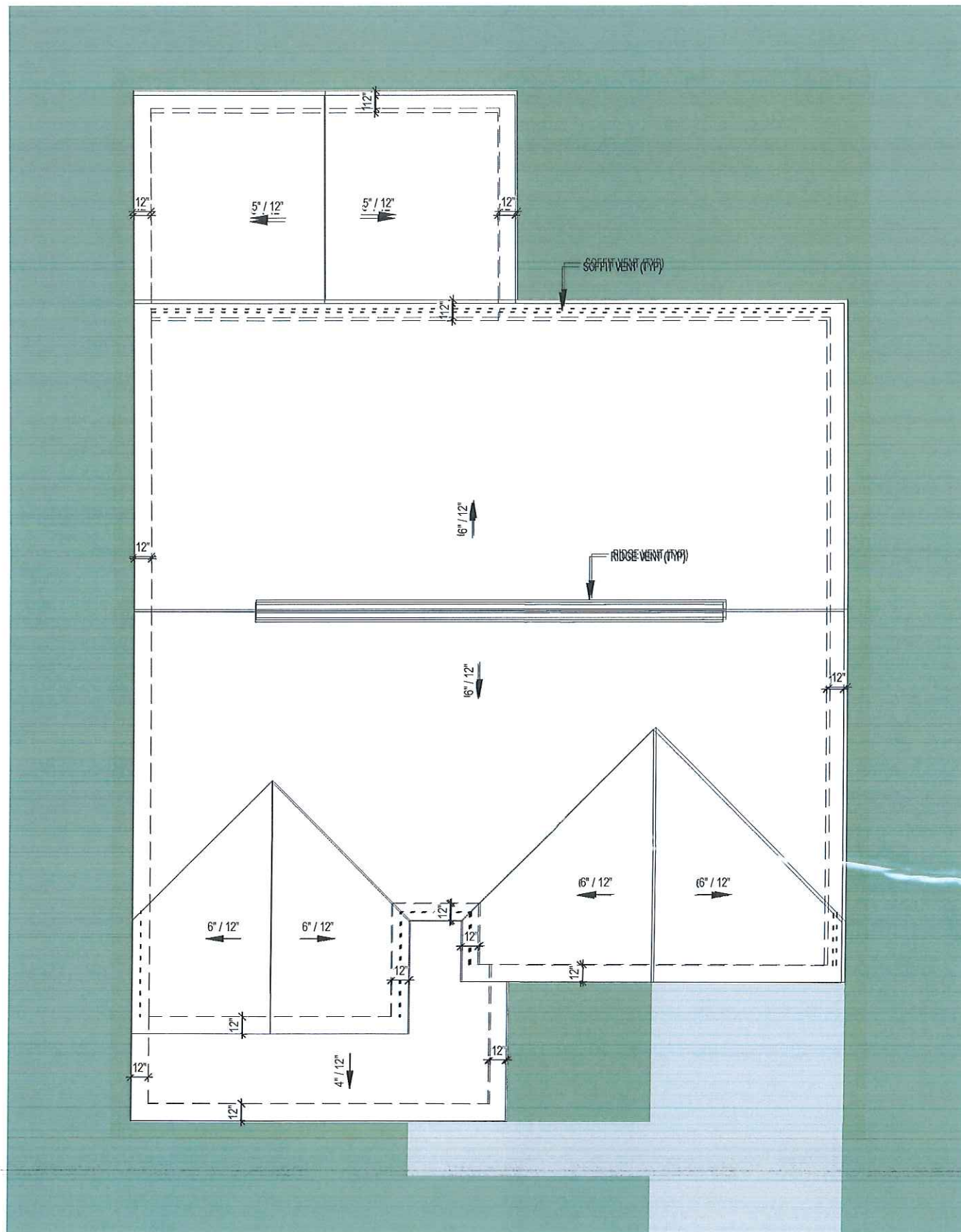
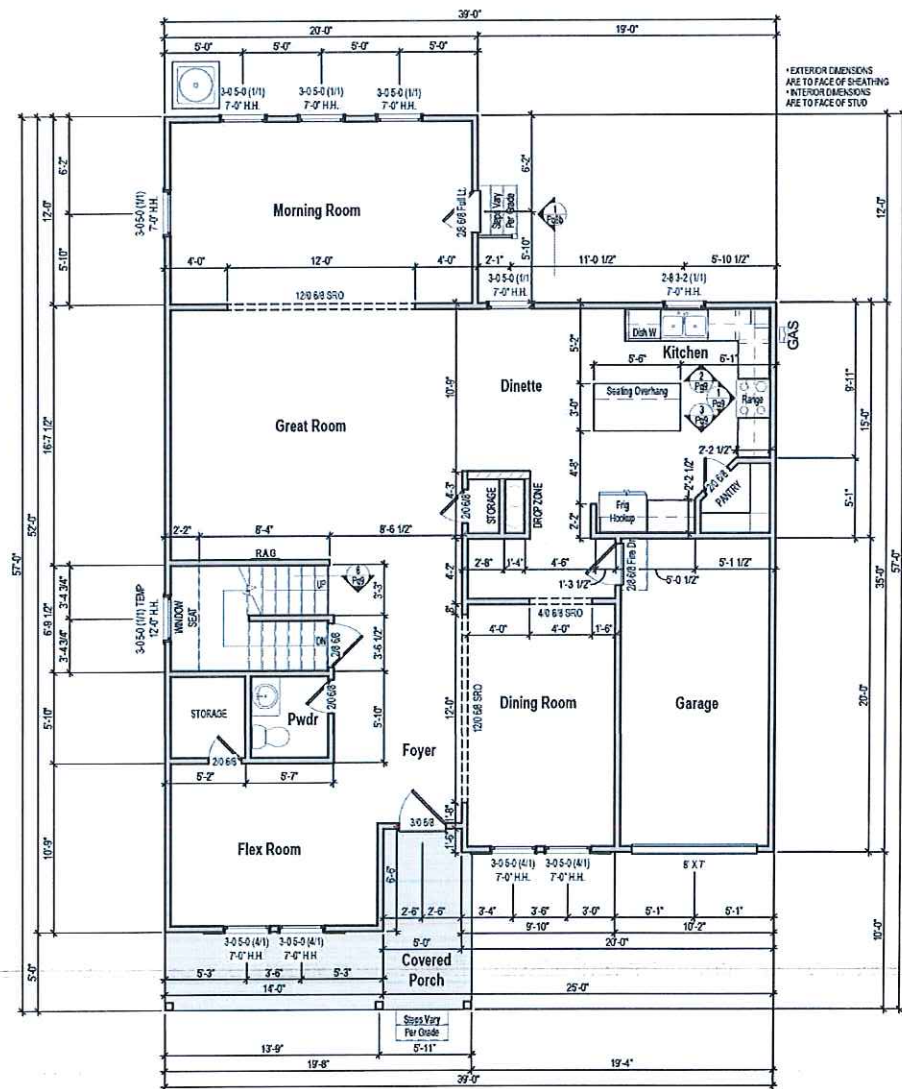
Address:
3417 Desota Ave.
Clev. Hts., OH 44118

Last Revision Date:

7-1-22

Sheet #:

PgD1



CONTRACTOR AND BUILDER SHALL REVIEW ENTIRE PLAN TO VERIFY CONFORMANCE WITH ALL CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH ALL APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.

2502 RH - Elevation B

Roof Plan

Job #:

Lot #:

Address:
3417 Desota Ave.
Clev. Hts., OH 44118
Community:

Last Revision Date:

7-5-22

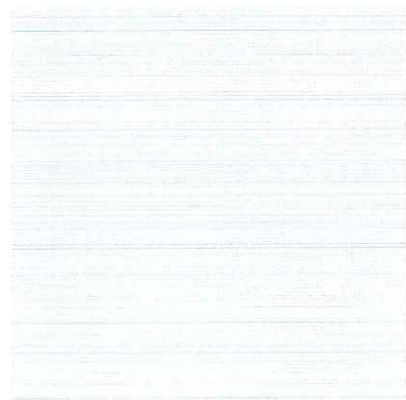
Sheet #:



ROOF
HEATHER BLEND



SIDING
MOCHA



DOOR, SHUTTERS,
GARAGE DOOR SW 7008



CONTRACTOR AND BUILDER SHALL REVIEW ENTIRE PLAN TO VERIFY CONFORMANCE WITH ALL CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH ALL APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.

2502 RH – Elevation B

Material Palette

Lot #:

Job #:

Address:

Community:

Last Revision Date:

5-26-22

Sheet #:





