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## Cedar-Lee-Meadowbrook

Flaherty & Collins | Final Planning Commission Review V.2 | 02.09.22



# Preliminary Planning Commission Review (12/8/2021)

## Primary comments from 12/8 Preliminary Planning Commission Review:

1. Building heights and presence (notably along Cedar Road)
2. Neighborhood context and relationship (size, scale and setback)
3. Lighting, landscaping, trash / service areas, and signage considerations
4. Sustainability measures (notably which standard the initiative will be following)

## What you will see as a direct result:

- Updated building elevations, streetscape plans and accompanying materials
- Model views that better illustrate the initiative's relationship to its context
- Plans and diagrams that show streetscaping, landscaping, lighting and other information
- Renderings that communicate Cedar-Lee's enhanced experience through architecture and open spaces



# Cedar-Lee-Meadowbrook

Development Vision

# Sustainability Components

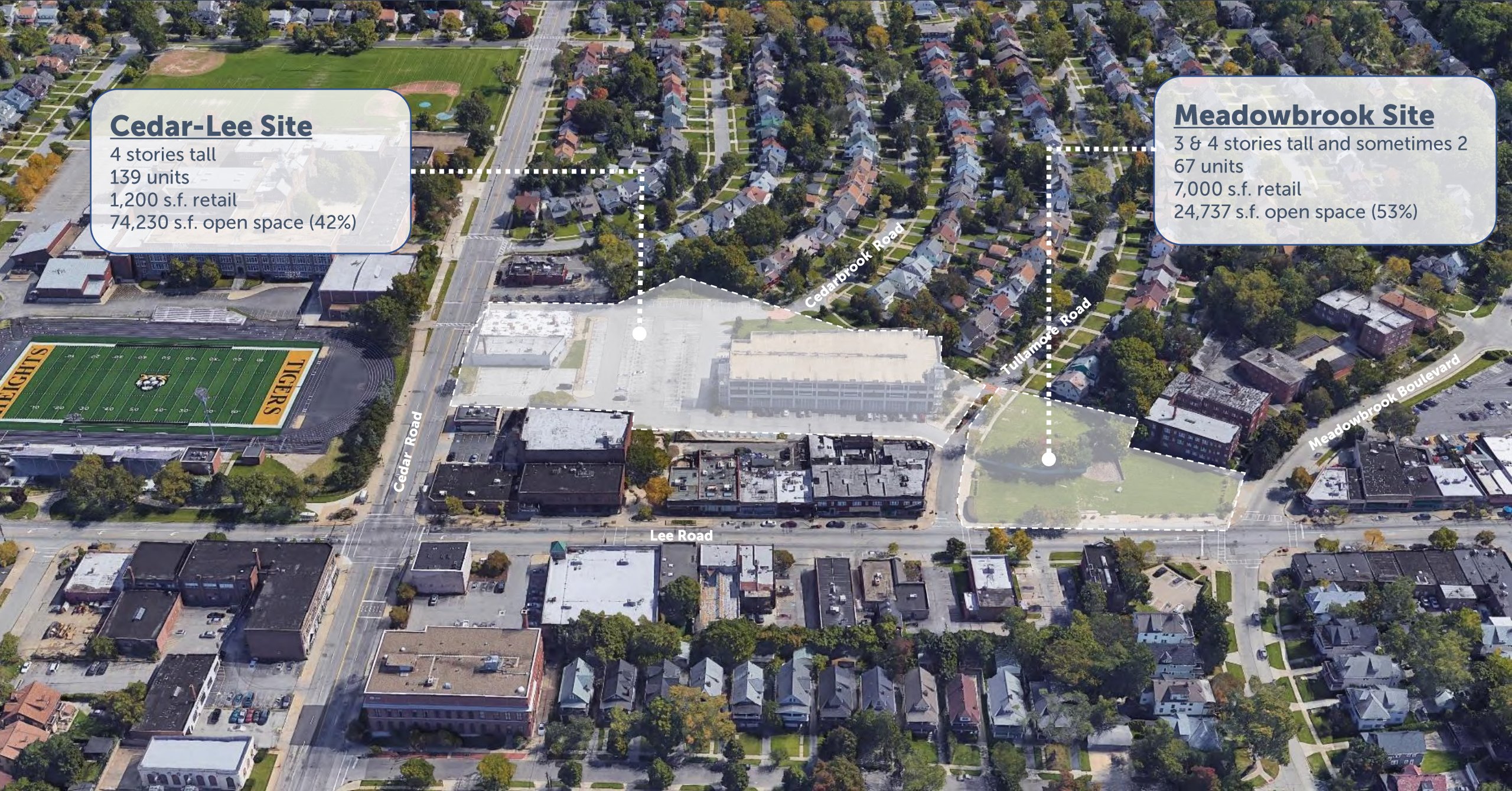
- Initiative will meet criteria from the National Green Building Standard (NGBS)
- Expanded tree canopy – addition of 70+ new trees
- Light-colored roofs that are solar-ready
- International Dark-Sky Association approved Dark Sky friendly LED light fixtures
- Electric vehicle charging station
- Multiple bike parking locations throughout site + indoor bike rooms for residents
- On-site stormwater management
- Native landscaping / pollinator & habitat-supportive plant selections

## Cedar-Lee Site

4 stories tall  
139 units  
1,200 s.f. retail  
74,230 s.f. open space (42%)

## Meadowbrook Site

3 & 4 stories tall and sometimes 2  
67 units  
7,000 s.f. retail  
24,737 s.f. open space (53%)





**PARKING LOT**



**ADJACENT MINI PARK**



**UNDERUTILIZED PARKING GARAGE**



**ADJACENT TREES AND GREEN SPACE**



**GARAGE AND LOT CONTEXT**



**UNDERUTILIZED SPACE**



**OPEN SPACE**



**LEE ROAD STREETScape CONTEXT**



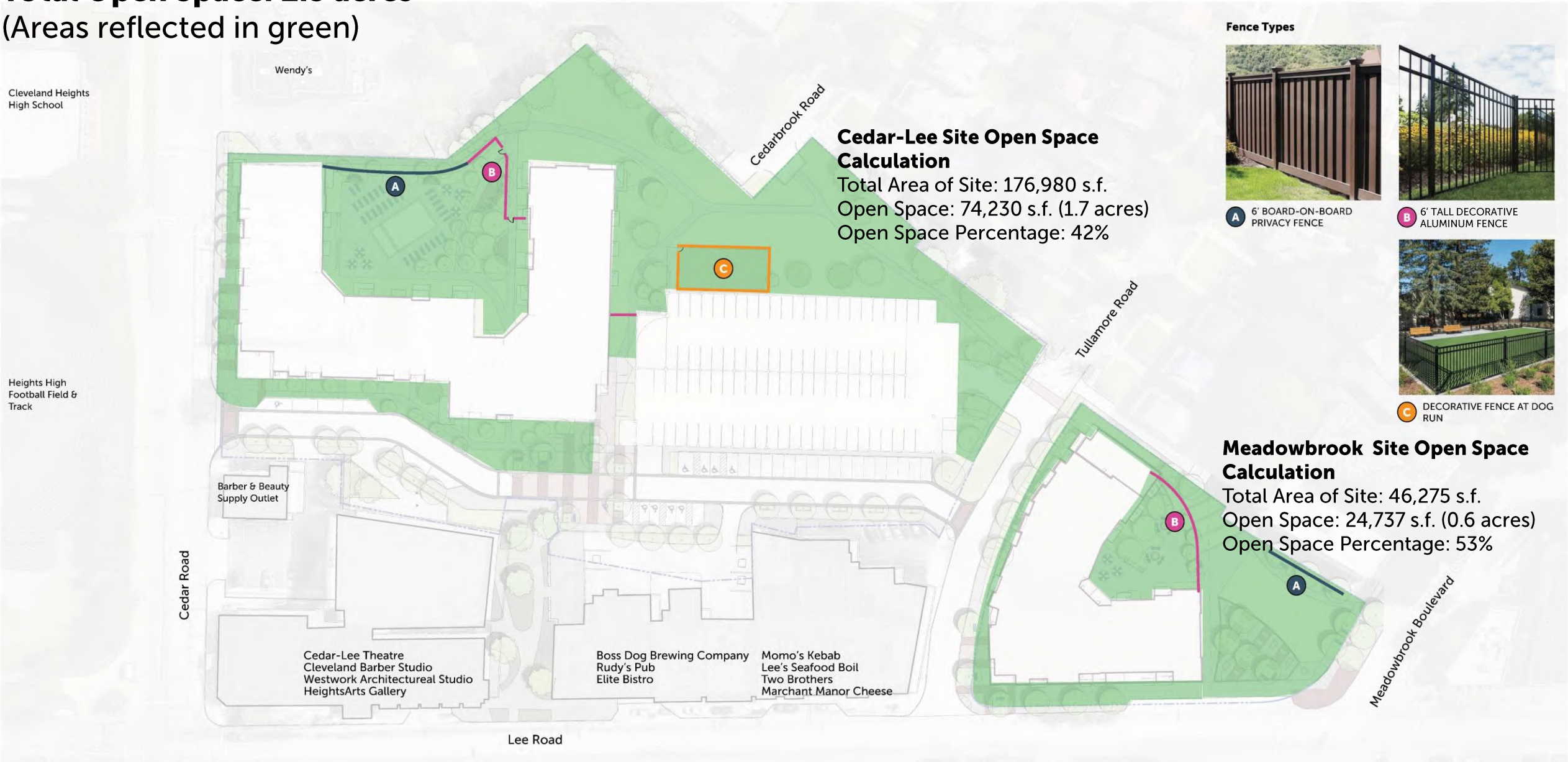
**UNDERUTILIZED SPACE**



**TULLAMORE TOPOGRAPHY**

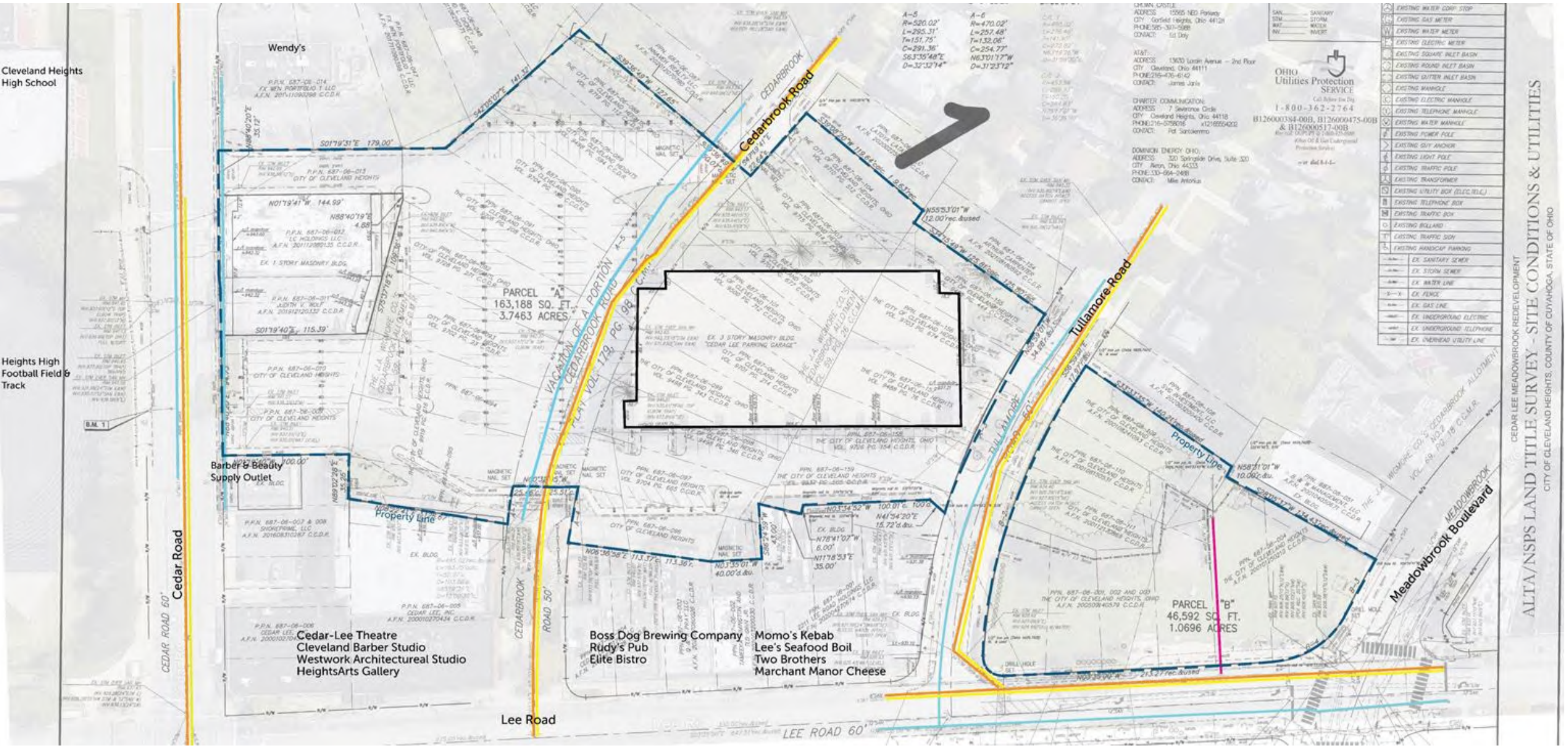
# Total Open Space: 2.3 acres

(Areas reflected in green)



Cleveland Heights High School

Heights High Football Field & Track

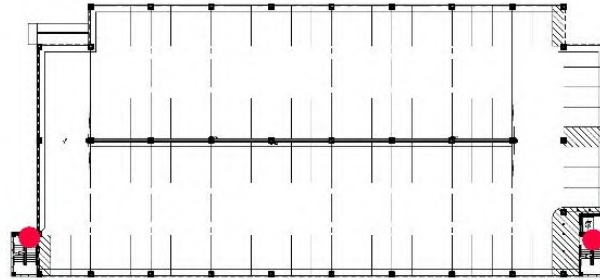


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Utilities Protection  
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1-800-362-2764  
B12600334-00B, B126000475-00B  
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Ohio DE & Local Jurisdiction  
Protects Services

EXISTING WATER CORP STOP
EXISTING GAS METER
EXISTING WATER METER
EXISTING ELECTRIC METER
EXISTING SQUARE INLET BASIN
EXISTING ROUND INLET BASIN
EXISTING DUTTER INLET BASIN
EXISTING MANHOLE
EXISTING ELECTRIC MANHOLE
EXISTING TELEPHONE MANHOLE
EXISTING WATER MANHOLE
EXISTING POWER POLE
EXISTING GUY ANCHOR
EXISTING LIGHT POLE
EXISTING TRAFFIC POLE
EXISTING UTILITY BOX (ELEC.)
EXISTING UTILITY BOX (TELE.)
EXISTING TRAFFIC BOX
EXISTING BILLBOARD
EXISTING TRAFFIC SIGN
EXISTING HANDICAP PARKING
EX. SANITARY SEWER
EX. STORM SEWER
EX. WATER LINE
EX. FENCE
EX. GAS LINE
EX. UNDERGROUND ELECTRIC
EX. UNDERGROUND TELEPHONE
EX. UNDERGROUND UTILITY LINE

ALTA/NSPS LAND TITLE SURVEY - SITE CONDITIONS & UTILITIES  
CITY OF CLEVELAND HEIGHTS, COUNTY OF CUYAHOGA, STATE OF OHIO

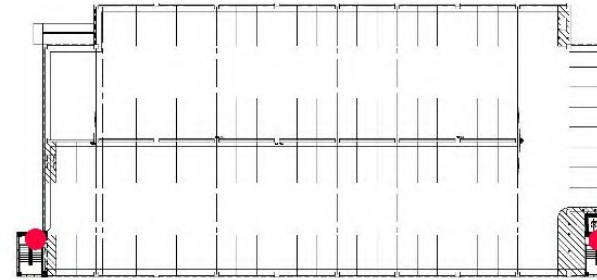
- ▶ EXIT DISCHARGE
- EXIT ENCLOSURE/WAY



### LEVEL 3

LIFE SAFETY/ EGRESS PLAN

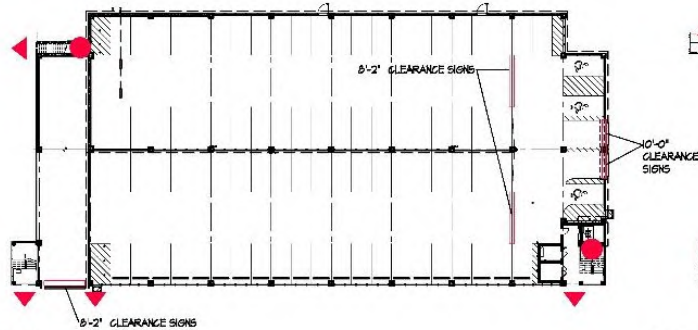
30,057 S.F. - NEW CONSTRUCTION



### LEVEL 4

LIFE SAFETY/ EGRESS PLAN

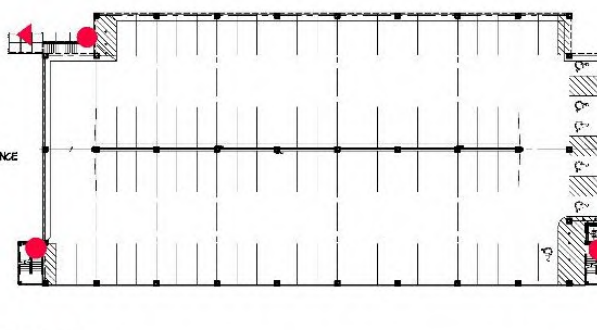
29,091 S.F. - NEW CONSTRUCTION



### LEVEL 1

LIFE SAFETY/ EGRESS PLAN

29,820 S.F. - NEW CONSTRUCTION



### LEVEL 2

LIFE SAFETY/ EGRESS PLAN

30,057 S.F. - NEW CONSTRUCTION

LENGTH OF OPENINGS: 4008

NOTE: OPENINGS PROVIDE ON 4 SIDES OF TIERS ON EVERY LEVEL.

\*\* FIRST FLOOR HAS SMALLEST PERCENTAGE OF OPENINGS AND THE LEAST LENGTH OF OPENINGS. VALUES IN CHART ARE FOR THE FIRST FLOOR.

FIRST FLOOR O.A. WALL AREA: 10340 S.F. FIRST FLOOR VENTED AREA: 5356 S.F.

FIRST FLOOR O.A. PERIMETER OR GARAGE AREA: 104 S.F. LENGTH OF OPENINGS: 441 L.F. (64%).

406.3.4 USES, NOT APPLICABLE.

406.3.5.1 AREA AND HEIGHT, AREA AND HEIGHT, SINGLE USE, WHEN THE OPEN PARKING GARAGE OR STORAGE OF PRIVATE MOTOR VEHICLES, WITH NO OTHER FUNCTIONS IN THE BUILDING, IS PERMITTED TO COMPLY WITH TABLE 406.3.5.1 ALONG WITH INCREASES IN 406.3.6.

NOTE: PROPOSED GARAGE MEETS THESE REQUIREMENTS; REFER TO CHAPT. 5 BELOW FOR HEIGHT AND AREA TABLES.

INCREASES INDICATED IN SECTION 406.3.6 ARE NOT REQUIRED FOR PROPOSED GARAGE.

406.3.7 LOCATION ON PROPERTY, EXTERIOR WALLS AND OPENINGS SHALL COMPLY WITH TABLE 406.3.7.1. ADJACENT LOT LINE SHALL BE DETERMINED IN ACCORDANCE WITH TABLE 602 AND SECTION 7.1. NOTE: REFER TO TABLES 601 AND 602 AS WELL AS CHAPTER 7 REVIEW BELOW.

406.3.8 MEANS OF EGRESS, EGRESS SHALL CONFORM TO CHAPTER 10.

NOTE: REFER TO CHAPTER 10 REVIEW BELOW.

406.3.9 STANDPIPE, STANDPIPES SHALL CONFORM TO CHAPTER 9.

NOTE: REFER TO CHAPTER 9, SECTION 905 STANDPIPE SYSTEMS REVIEW BELOW. NOTE: STANDPIPES ARE PROPOSED FOR GARAGE.

406.3.10 SPRINKLER SYSTEMS, BUILDING SHALL CONFORM TO CHAPTER 9.

NOTE: REFER TO CHAPTER 9, SECTION 905 AUTOMATIC SPRINKLER SYSTEMS REVIEW BELOW. NOTE: SPRINKLERS ARE NOT PROPOSED FOR GARAGE.

406.3.11 ENCLOSURE OF VERTICAL OPENINGS, ENCLOSURE OF VERTICAL OPENINGS NOT REQUIRED ACCORDING TO SECTION 1014, EXCEPTION 5.

NOTE: FIRE-RATED VERTICAL ENCLOSURES ARE NOT PROPOSED FOR GARAGE.

406.3.12 VENTILATION, VENTILATION, OTHER THAN THE PERCENTAGE OF OPENINGS SPECIFIED IN REQUIRED.

#### GENERAL BUILDING LIMITATIONS: TABLE 503.1

BASED ON S-2 USE AND TYPE II-B CONSTRUCTION	TABLE 503.1 S-2
ALLOWABLE HEIGHT (FEET): TABULAR: 50' (NO SPRINKLER INCREASE)	55'
ALLOWABLE HEIGHT (STORIES ABOVE GRADE): TABULAR: 4 (NO SPRINKLER INCREASE)	4 STORIES
ALLOWABLE FLOOR AREA (PER FLOOR): TABULAR - SPRINKLER + FRONTAGE TABULAR: 28,000 S.F. SPRINKLER INCREASE = 0 (NO SPRINKLERS) FRONTAGE INCREASE = .25 X TABULAR = 6,900 S.F.*	52,500 S.F. PER FLOOR

\* FRONTAGE INCREASE AVAILABLE IS A MINIMUM OF 50 PERCENT OF OVERALL (M)

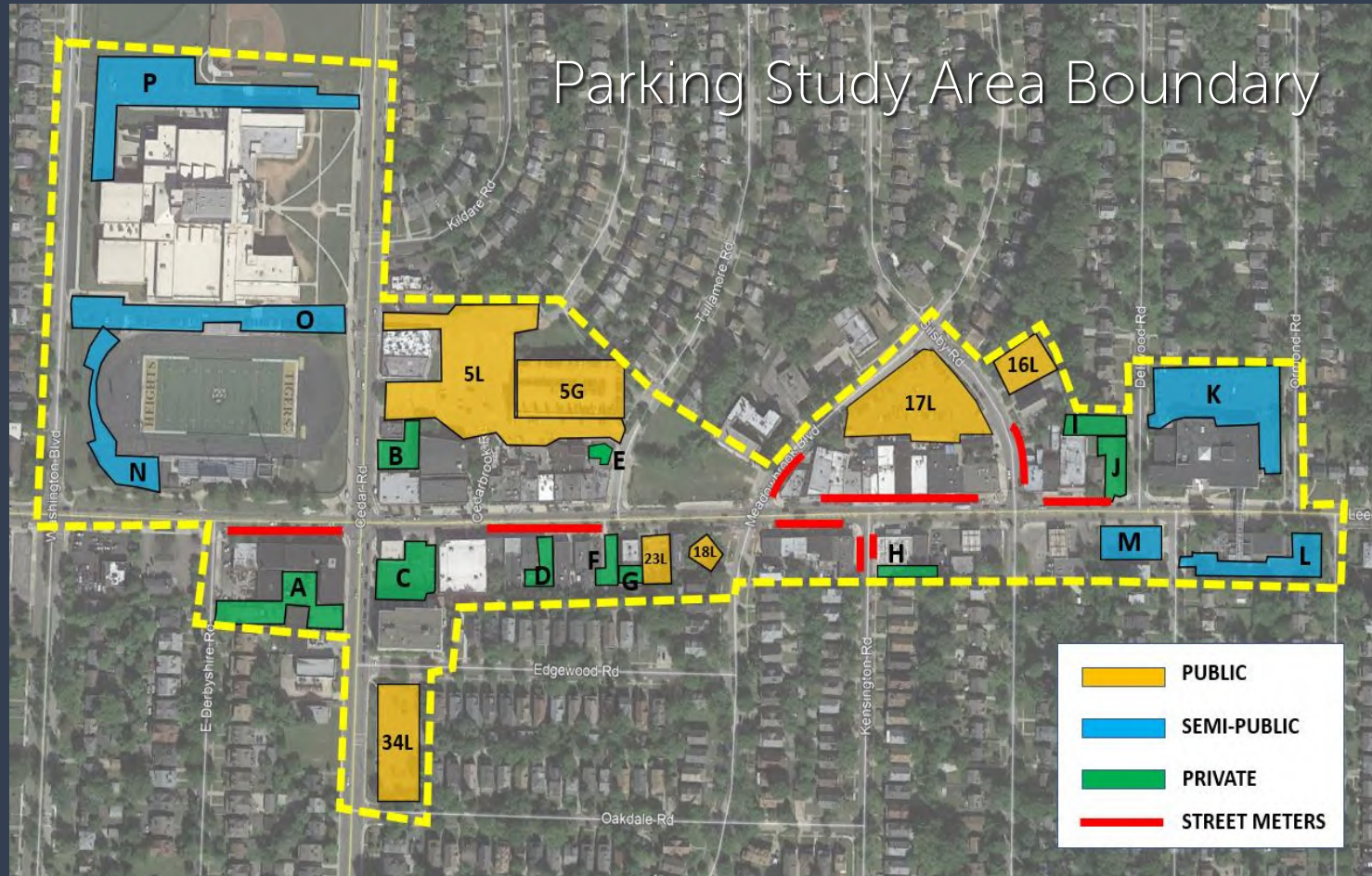
#### BUILDING GROSS AREAS

FLOOR	GROSS AREA
1ST FLOOR/TIER (GROUND LEVEL)	24,820 S.F.
2ND FLOOR/TIER	30,057 S.F.
3RD FLOOR/TIER	30,057 S.F.
4TH FLOOR/TIER (ROOF LEVEL)	24,041 S.F.
TOTAL GROSS BUILDING AREA:	114,025 S.F.

#### CONSTRUCTION TYPE:

II-B, UNPROTECTED

# District-wide existing parking conditions



- 23 Off-street facilities provide 1,410 parking spaces (*including High School Lots*)
  - 59% Public (*City Controlled*)
  - 27% Semi-Public (*H.S. and Library Controlled*)
  - 14% Private
- 46 Metered on-street spaces
- Existing parking supply evenly distributed north to south, but mostly concentrated on east side of Lee Road.
- Parking demand typically peaks on Fridays and Saturdays between 5:00pm and 10:00pm
- DESMAN has Pre-COVID parking survey data for the area from 2019

# Project Parking Plan Recommendations:



ID and informational signage and interior light levels at the garage need to be addressed.

Physically segregate project-reserved spaces from general public spaces

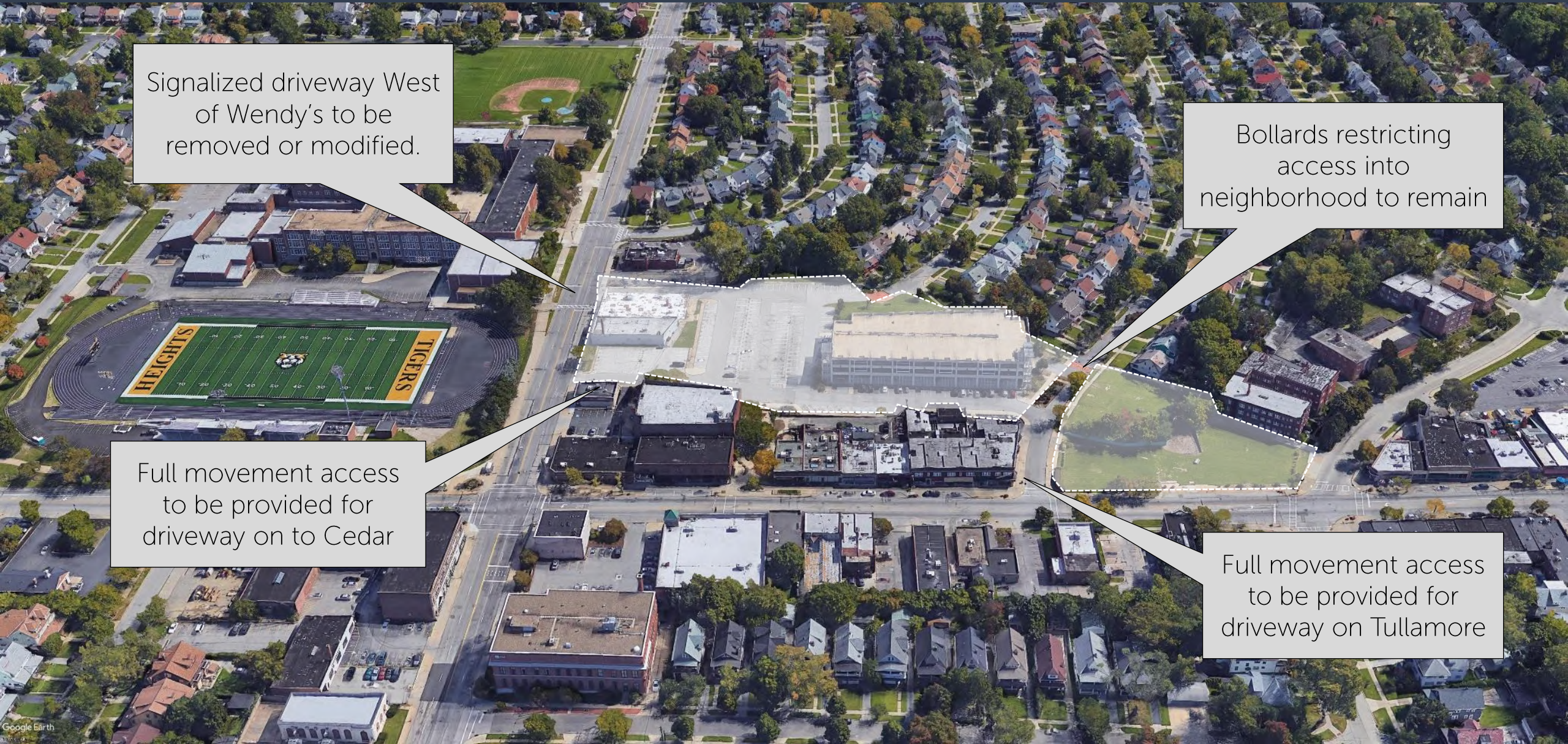
Optimize transient parker access during peak demand periods by limiting future the sale of garage parking permit to M-F daytime parkers.

Upgrade fee collection pay stations kiosks in garage stair tower lobby

Provide ADA spaces west side of garage along access drive



# Trip Distribution - Site Access

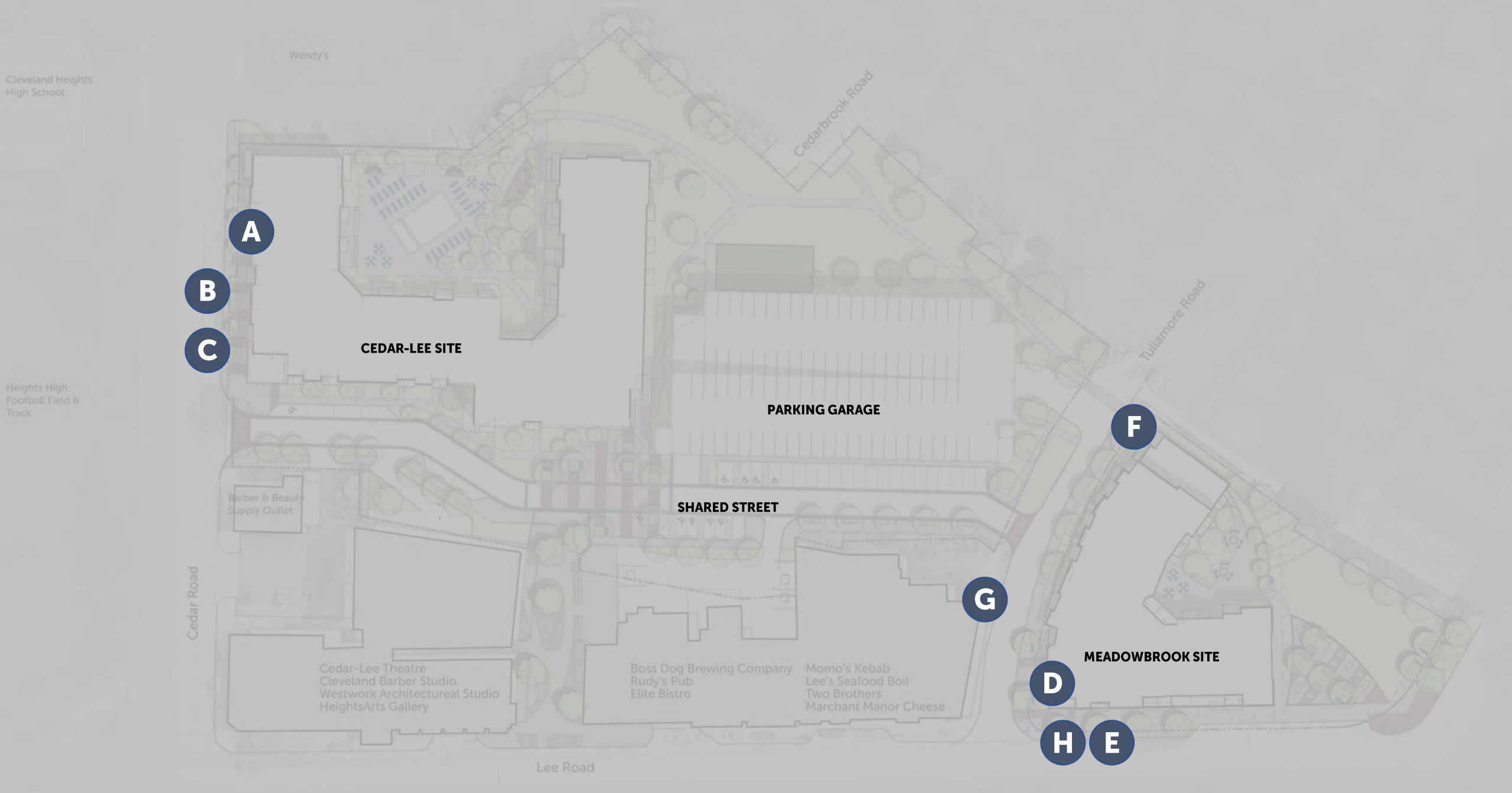


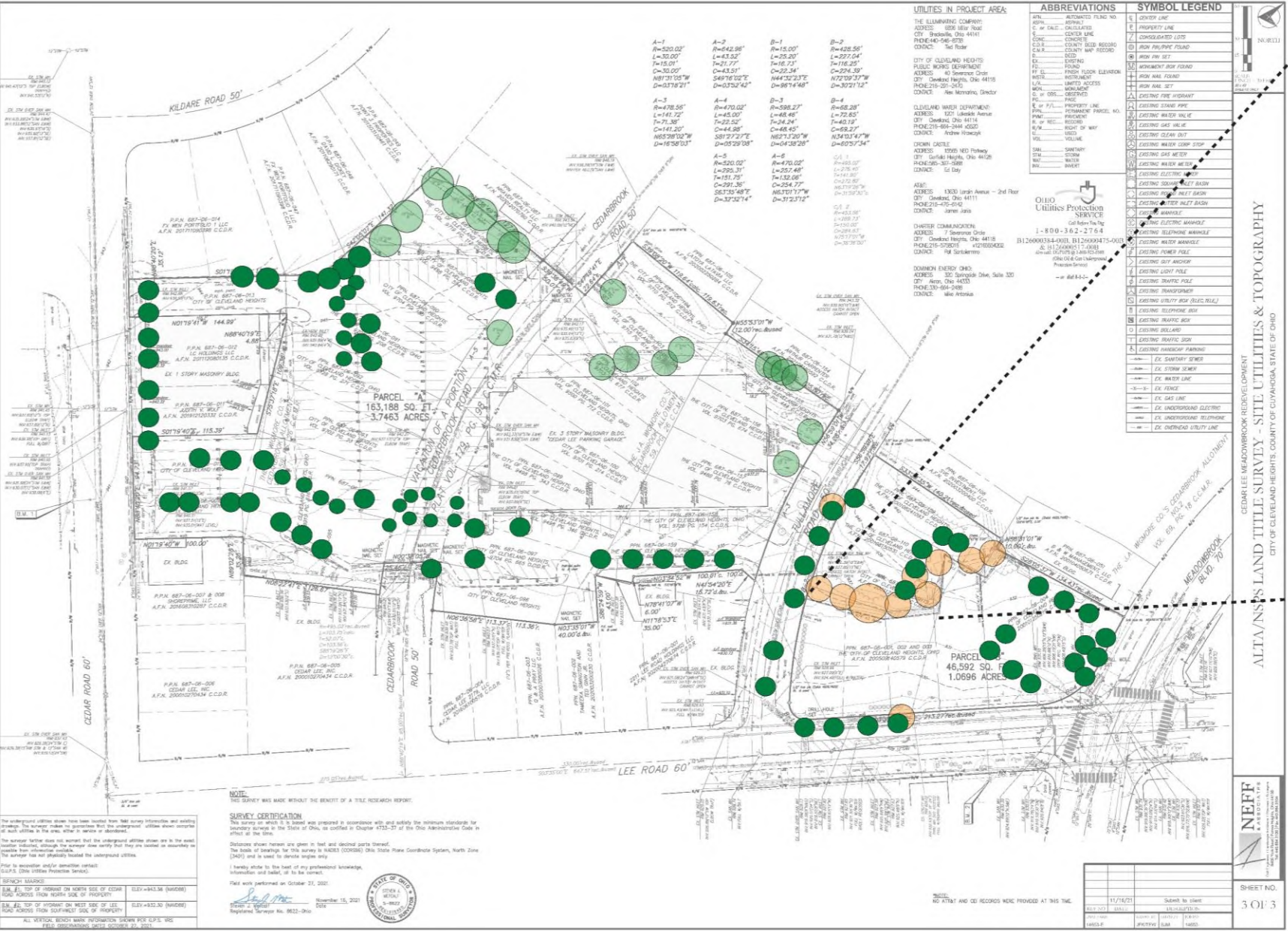
Signalized driveway West of Wendy's to be removed or modified.

Bollards restricting access into neighborhood to remain

Full movement access to be provided for driveway on to Cedar

Full movement access to be provided for driveway on Tullamore





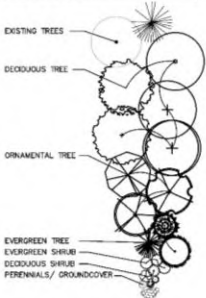
Meadowbrook Site Trees  
Trees' health uncertain (assume healthy in relation to preservation plan)

- Drawing Key**
- EXISTING 6" CALIPER (OR LARGER) TREE TO BE REMOVED: 11 TREES (approx.)
  - EXISTING 6" CALIPER (OR LARGER) TREE TO REMAIN: 20 TREES (approx.)
  - PROPOSED NEW TREES: 84 TREES\*
- \*NOTE: ADDITIONAL LANDSCAPING WILL BE INSTALLED

LANDSCAPE NOTES

- CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND VERIFYING ALL PLANT MATERIAL SHOWN ON THE PLANS. ANY PLANT MATERIAL SUBSTITUTIONS TO BE VERIFIED AND APPROVED BY LANDSCAPE ARCHITECT OR OWNER PRIOR TO INSTALLATION.
- HATCHED PLANT AREA QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL HATCHED PLANTING AREAS AT SPACING LISTED IN PLANT LIST SUMMARY.
- CONTRACTOR TO PROVIDE DOUBLE SHROUDED MULCH FOR DETAILS AND SPECIFICATIONS AT ALL PLANTING BEDS. PROVIDE A MIN. 3" DIAMETER MULCH BED AROUND EACH INDIVIDUAL TREE LOCATED IN MANDATED LANDSCAPED AREAS UNLESS TREES ARE INCORPORATED IN A PLANTING BED. FOR TREES LOCATED IN A MULTIPLE PLANTING AREAS, PROVIDE A MIN. 5" DIAMETER MULCH BED AROUND EACH INDIVIDUAL TREE. MULCH COLOR SHALL BE NATURAL AND NOT DYED, AND MATCH EXISTING BEDS UNLESS OTHERWISE SPECIFIED BY THE OWNER. CONTRACTOR SHALL SUBMIT MULCH SAMPLES TO OWNER FOR APPROVAL PRIOR TO ORDERING.
- ONCE FINAL GRADE IS ESTABLISHED, ALL PLANTING BEDS SHALL RECEIVE 18" DEPTH OF PLANTING SOIL, MAY PER THE SPECIFICATIONS AND DETAILS. ALL SEEDING AREAS TO RECEIVE A MINIMUM OF 4" OF TOPSOIL PER THE SPECIFICATIONS. SALVAGED OR EXISTING TOPSOIL CAN BE RE-USED IF SPECIFICATIONS ARE MET AND IS APPROVED BY OWNER.
- PLACEMENT OF PLANTING MATERIALS SHALL NOT AFFECT THE EXISTING DRAINAGE PATTERN ON SITE. THIS INCLUDES BUT IS NOT LIMITED TO PLACING PLANT MATERIALS IN OR NEAR DRAINS OR CREATING BARRIERS THAT BLOCK THE INTENDED SURFACE DRAINAGE PATTERN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING ALL PLANT MATERIAL AND SEEDING AREAS UNTIL SUBSTANTIAL COMPLETION OF PROJECT. SLOW RELEASE WATERING BAGS SHOULD BE USED ON ALL TREES.
- ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PROPOSED UTILITY ROUTINGS AND LOCATING ALL EXISTING UNDERGROUND UTILITIES. CONTRACTOR SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BARRIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (1) TO VERIFY THE LOCATION OF UTILITY LINES AND ADJACENT TO THE WORK AREA (2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD (3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
- APPLY A FIRE-EMERGENT HERBICIDE, PENICILLAMIN OR EQUIVALENT OR APPROVED SIMILAR, TO TREE, SHRUB, AND GROUND COVER AREAS IN ACCORDANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS. DO NOT APPLY TO SEEDING AREAS.

PLANT LEGEND



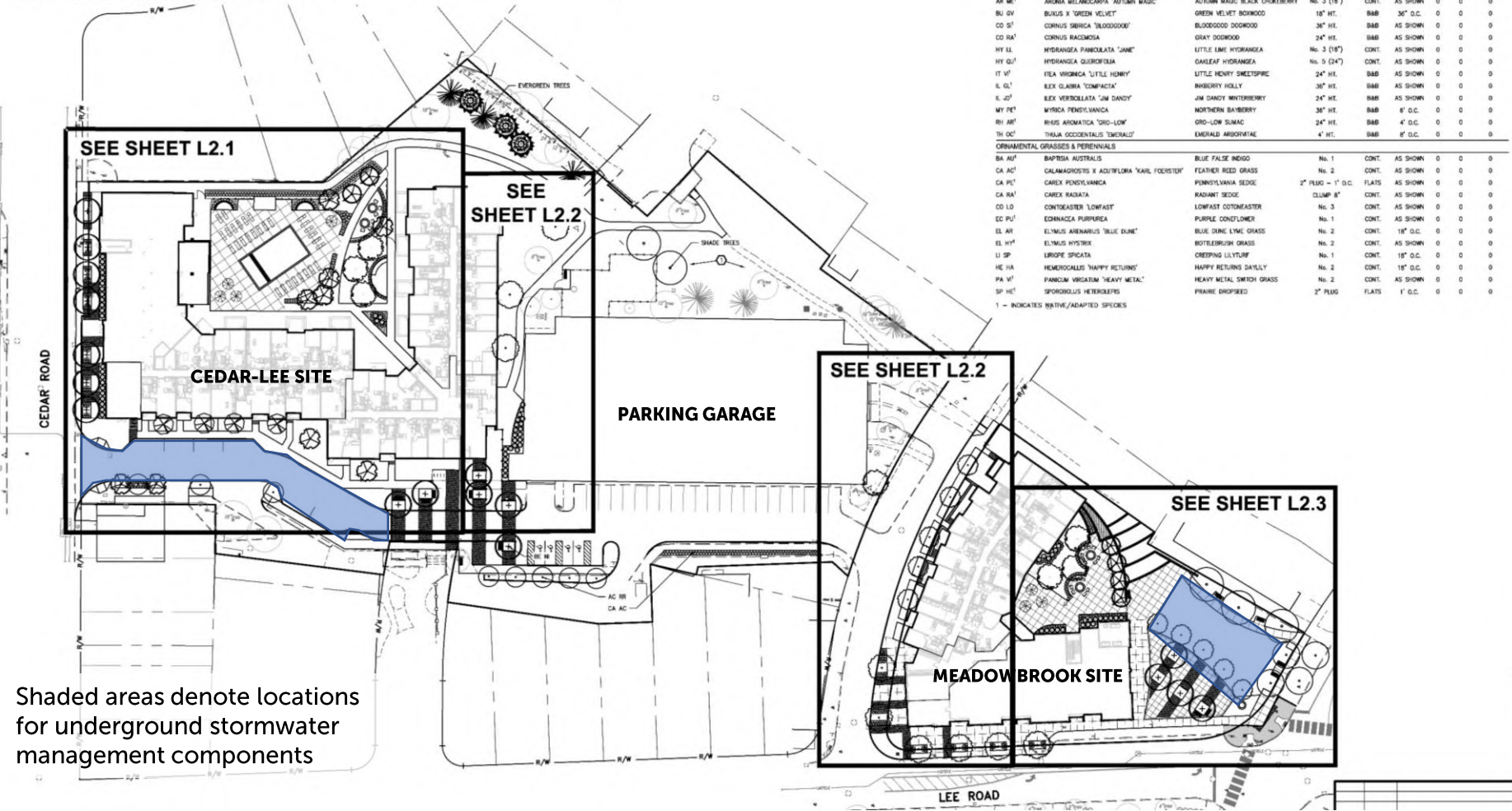
KEY NOTES

- SEED
- MULCH LINE/MULCH BED
- SPECIALTY PAVEMENT
- EXISTING PERMEABLE PAVERS
- NEW PERMEABLE PAVERS TO MATCH EXISTING
- PRIVACY FENCE
- GATE
- BOLLARDS
- BIKE RACKS
- BENCHES

PLANT LIST - SUMMARY TABLE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND	SPACING	L2.1	L2.2	TOTAL
DECIDUOUS TREES								
AC FR	ACER FRIEDMANI 'AUTUMN BLAZE'	ACER FRIEDMANI 'AUTUMN BLAZE'	2.5' CAL.	B&B	AS SHOWN	0	0	0
AC RU	ACER RUBRUM 'RED ROCKET'	RED ROCKET MAPLE	2.5' CAL.	B&B	AS SHOWN	0	0	0
AC RU	ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE	2.5' CAL.	B&B	AS SHOWN	0	0	0
BE ME	BETULA NIGRA	RIVER BIRCH	8' HT.	B&B (CLUMP)	AS SHOWN	0	0	0
CA CA	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	2.5' CAL.	B&B	AS SHOWN	0	0	0
QU BA	QUERCUS BICOLORE	RED OAK	2.5' CAL.	B&B	AS SHOWN	0	0	0
QU BA	QUERCUS RUBRA	NORTHERN RED OAK	3' CAL.	B&B	AS SHOWN	0	0	0
ZE SE	ZELKOVA SEROTINA 'GREEN VASE'	GREEN VASE ZELKOVA	2' CAL.	B&B	AS SHOWN	0	0	0
EVERGREEN TREES								
AB CO	ABIES CONCOLOR	WHITE FIR	6' HT.	B&B	AS SHOWN	0	0	0
PI AB	PICEA ABIES	NORWAY SPRUCE	6' HT.	B&B	AS SHOWN	0	0	0
PI SI	PINUS STROBUS	EASTERN WHITE PINE	6' HT.	B&B	AS SHOWN	0	0	0
ORNAIMENTAL TREES								
AW BR	AMELANCHIER BRADYFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	6' HT.	B&B (CLUMP)	AS SHOWN	0	0	0
CE CA	CORUS CHAMAENES	EASTERN REDBUD	6' HT.	B&B (CLUMP)	AS SHOWN	0	0	0
CR CH	CRATAEGUS CRUS-GALLI MEINUS	THORNLESS DOGWOOD HAWTHORN	2' CAL.	B&B	AS SHOWN	0	0	0
JA ME	JANUS 'JANE'	JANE MAGNOLIA	1.5' CAL.	B&B	AS SHOWN	0	0	0
MA PR	MALUS 'PRAIRIERIE'	PRAIRIERIE CRAB	1.75' CAL.	B&B	AS SHOWN	0	0	0
SHRUBS								
AR ME	ARONIA MELANOCARPA 'AUTUMN MAGIC'	AUTUMN MAGIC BLACK CHOKERBERRY	No. 3 (18")	CONT.	AS SHOWN	0	0	0
BU GV	BUGUS X 'GREEN VELVET'	GREEN VELVET BOXWOOD	18" HT.	B&B	36" O.C.	0	0	0
CO SI	CORNUS SIBIRICA 'ALDOUSWOOD'	BLOODGOOD DOGWOOD	36" HT.	B&B	AS SHOWN	0	0	0
CO BA	CORNUS RACEMOSA	GRAY DOGWOOD	24" HT.	B&B	AS SHOWN	0	0	0
HY LI	HYDRANGEA PANDOLATA 'JANE'	LITTLE LIME HYDRANGEA	No. 3 (18")	CONT.	AS SHOWN	0	0	0
HY LI	HYDRANGEA QUERCIFOLIA	CORALBELL HYDRANGEA	No. 3 (24")	CONT.	AS SHOWN	0	0	0
IT ME	ILEX VIRGINICA 'LITTLE REDBUD'	LITTLE REDBUD SWEETSPICE	24" HT.	B&B	AS SHOWN	0	0	0
IL GL	ILEX GLAUBA 'TOMMYHAWK'	WINGED HOLLY	36" HT.	B&B	AS SHOWN	0	0	0
IL GL	ILEX VERTICILLATA 'JIM DANDY'	JIM DANDY WINTERHERRY	24" HT.	B&B	AS SHOWN	0	0	0
MY PE	MYRTICA PENSYLVANICA	NORTHERN BAYBERRY	36" HT.	B&B	6" O.C.	0	0	0
RH AB	RHUS AROMATICA 'ORO-LON'	ORO-LON SUMAC	24" HT.	B&B	4" O.C.	0	0	0
TH OC	THALIA OCCIDENTALIS 'EMERALD'	EMERALD ARBOREVIATA	4' HT.	B&B	6" O.C.	0	0	0
ORNAIMENTAL GRASSES & PERENNIALS								
BA AU	BAPTISIA AUSTRALIS	BLUE FALSE INDIGO	No. 1	CONT.	AS SHOWN	0	0	0
CA AC	CALAMAGROSTIS X ADULTIFLORA 'KAIL FOUSTEY'	FEATHER REED GRASS	No. 2	CONT.	AS SHOWN	0	0	0
CA PE	CAREX PENSYLVANICA	PENNSYLVANIA SEDGE	2' PLUG - 1' O.C.	FLATS	AS SHOWN	0	0	0
CA BA	CAREX RADATA	RADIANT SEDGE	CLUMP 8"	CONT.	AS SHOWN	0	0	0
CO LO	CONICEASTER 'LOWFAST'	LOWFAST COTONEASTER	No. 3	CONT.	AS SHOWN	0	0	0
EC PU	ERANDIA PURPUREA	PURPLE CORN LARK	No. 1	CONT.	AS SHOWN	0	0	0
EL ME	ELYNUS AENEASUS 'BLUE DUNE'	BLUE DUNE LIME GRASS	No. 2	CONT.	18" O.C.	0	0	0
EL ME	ELYNUS HYSTRIX	BOTTLEBRUSH GRASS	No. 2	CONT.	AS SHOWN	0	0	0
LI SP	LIRIOPE SPICATA	CREeping LILY TURF	No. 1	CONT.	18" O.C.	0	0	0
HE HA	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	No. 2	CONT.	18" O.C.	0	0	0
PA ME	PANICUM VIRGATUM 'HEAVY METAL'	HEAVY METAL SWITCH GRASS	No. 2	CONT.	AS SHOWN	0	0	0
SP ME	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	2" PLUG	FLATS	1" O.C.	0	0	0

1 - INDICATES NATIVE/ADAPTED SPECIES



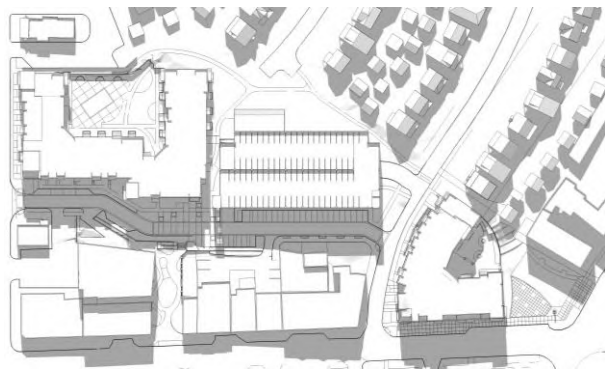
Shaded areas denote locations for underground stormwater management components

CEAR LEE MEADOWBROOK REDEVELOPMENT  
SITE LANDSCAPE PLAN

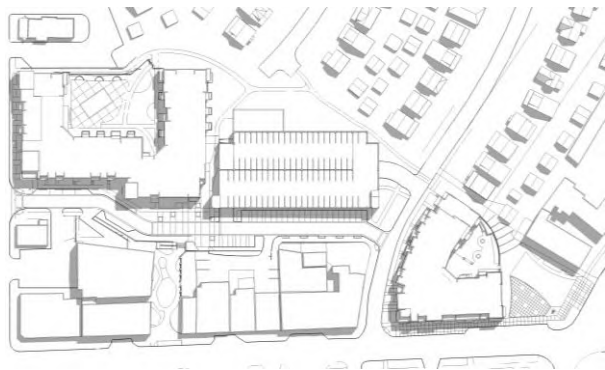
CITY OF CLEVELAND HEIGHTS, COUNTY OF CUYAHOGA, STATE OF OHIO

NEFF  
ARCHITECTS  
10000 W. 12th Ave., Suite 100  
Cleveland, OH 44120  
216.775.1111

**SUMMER SOLSTICE**



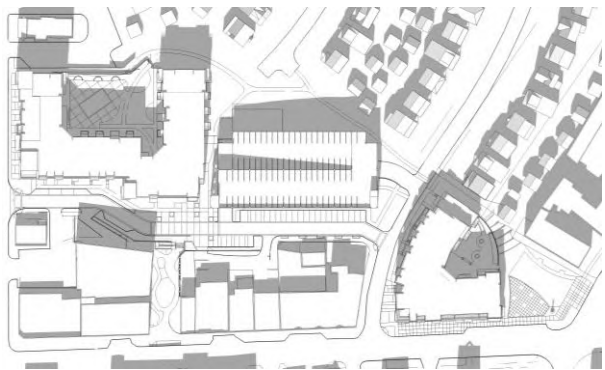
**JUNE 21: 9AM**



**JUNE 21: NOON**



**JUNE 21: 3PM**

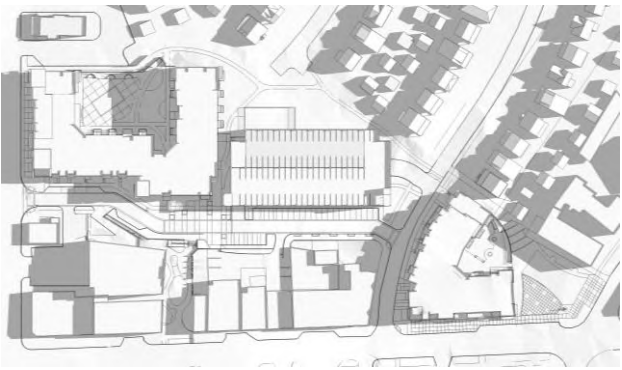


**JUNE 21: 6PM**

**WINTER SOLSTICE**



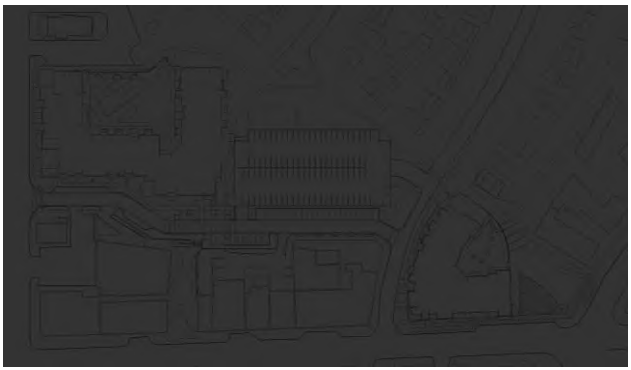
**DECEMBER 21: 9AM**



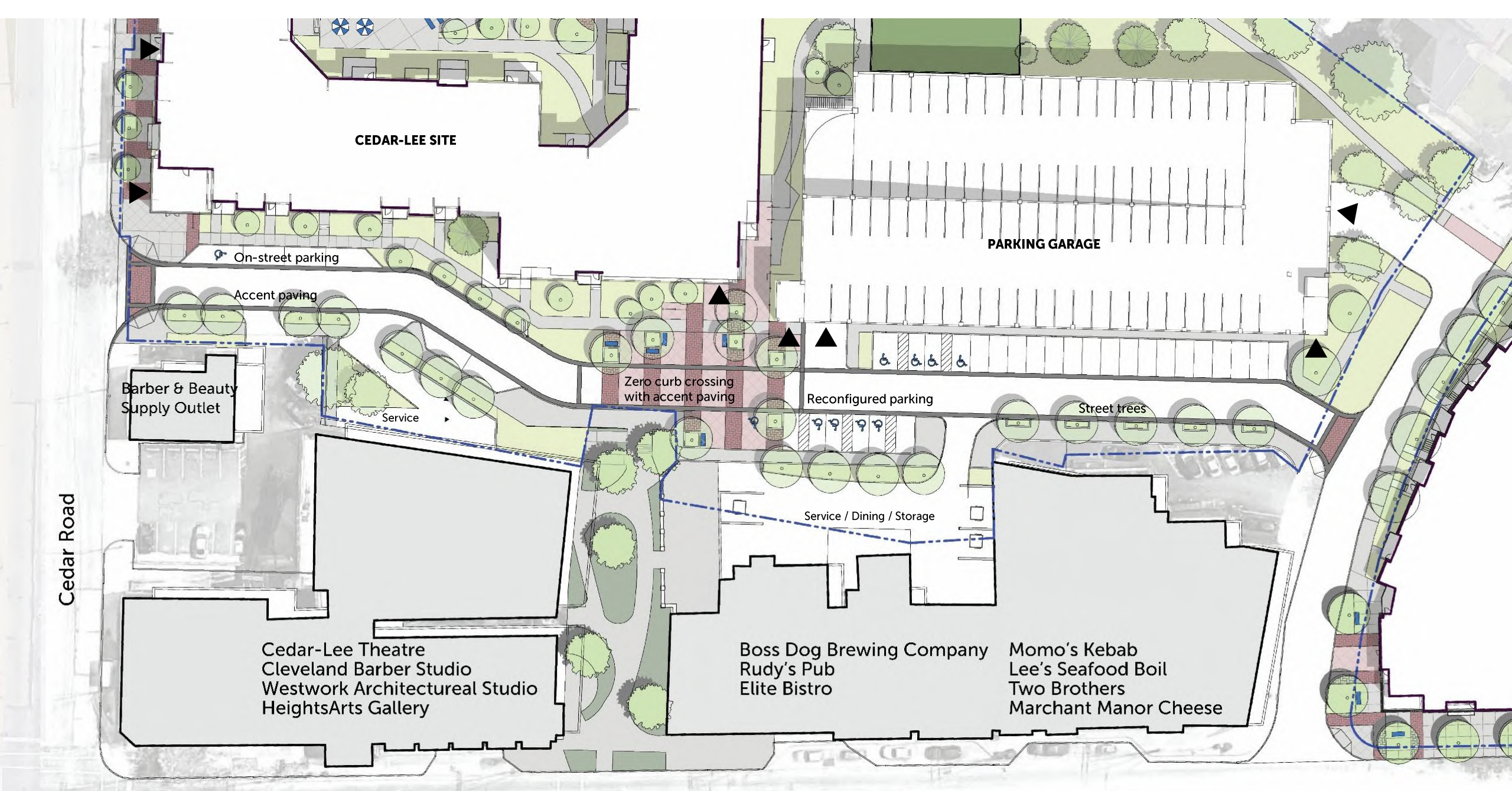
**DECEMBER 21: NOON**

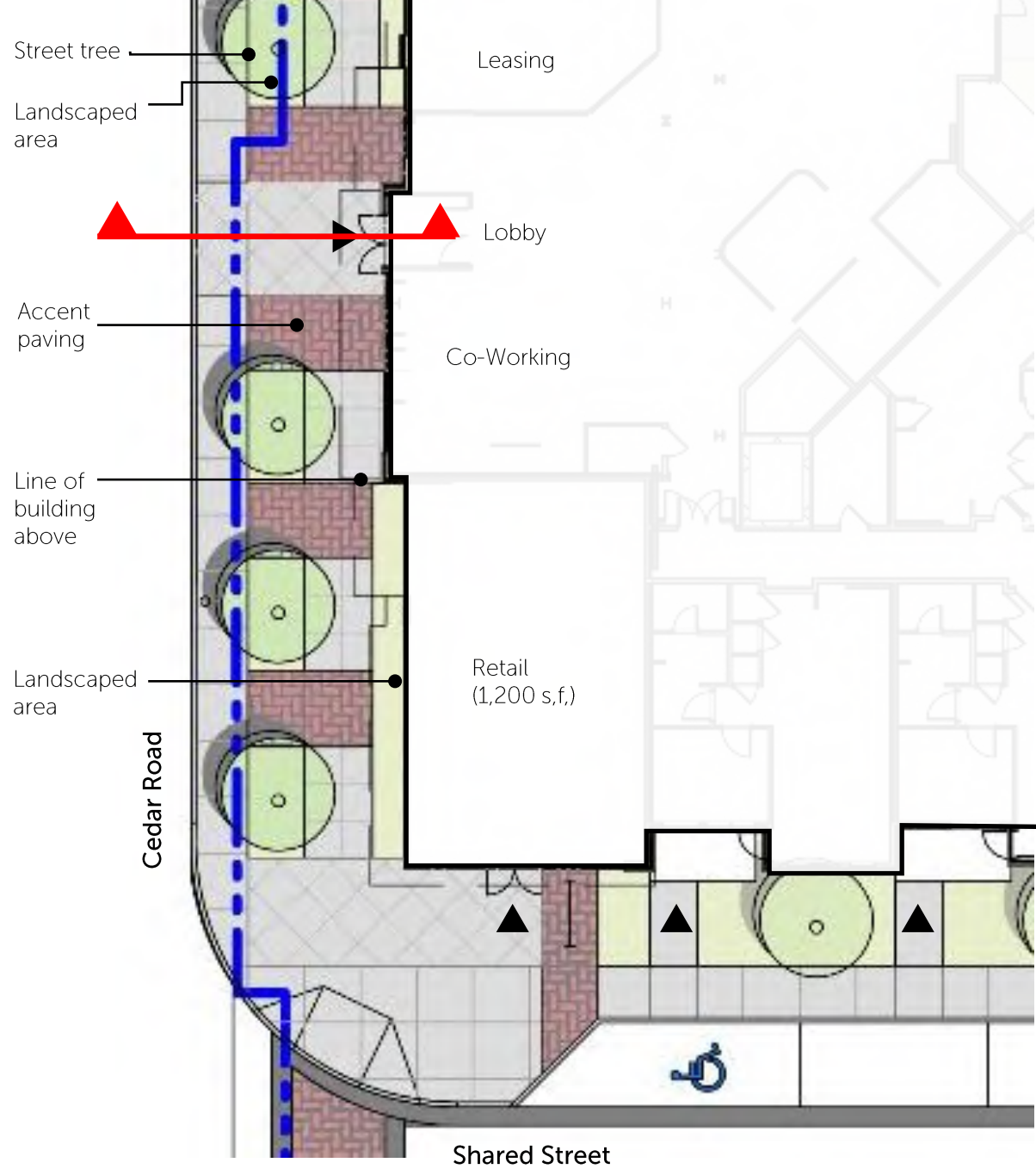


**DECEMBER 21: 3PM**



**DECEMBER 21: 6PM**







Bike Racks

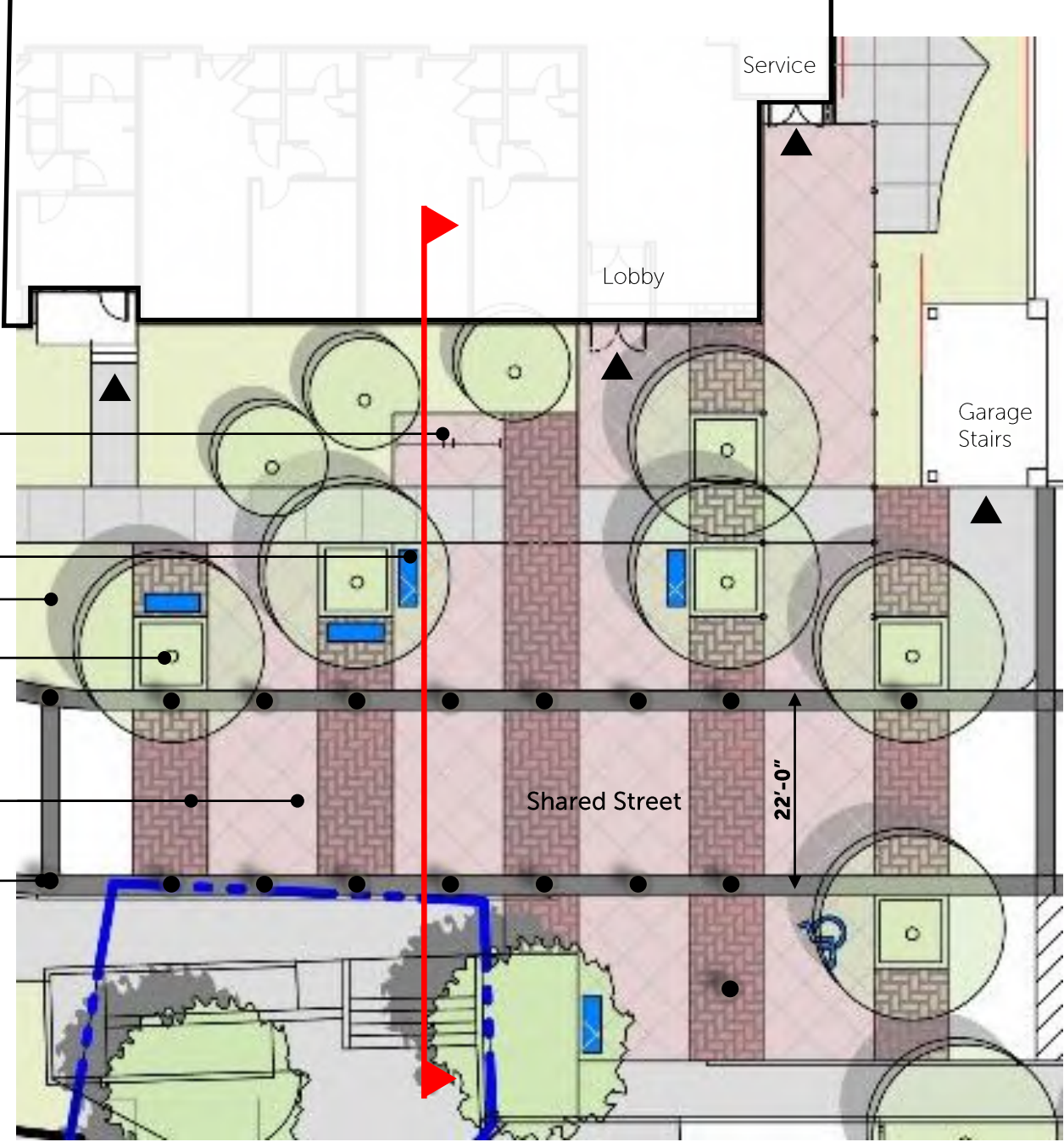
Bench

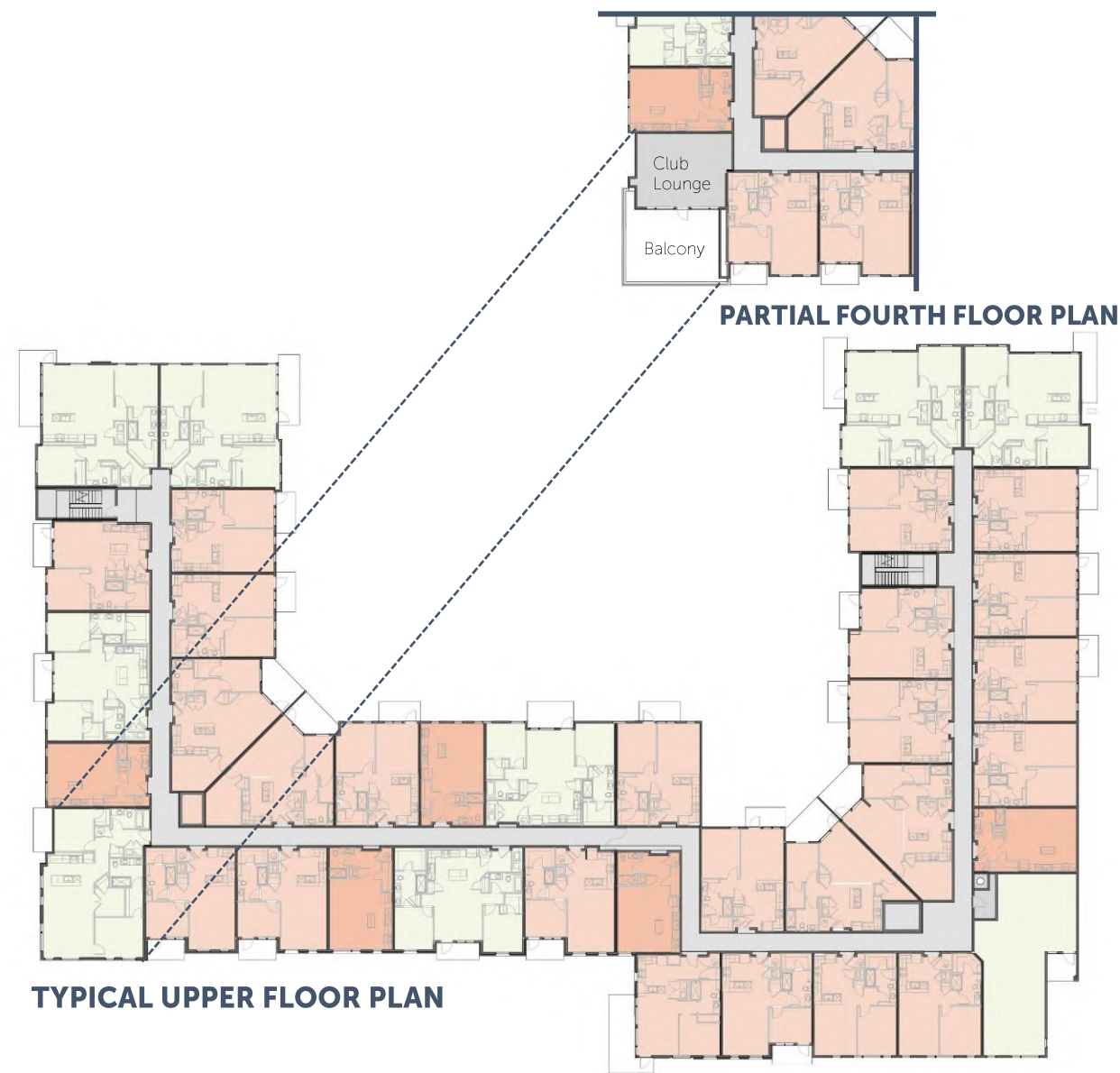
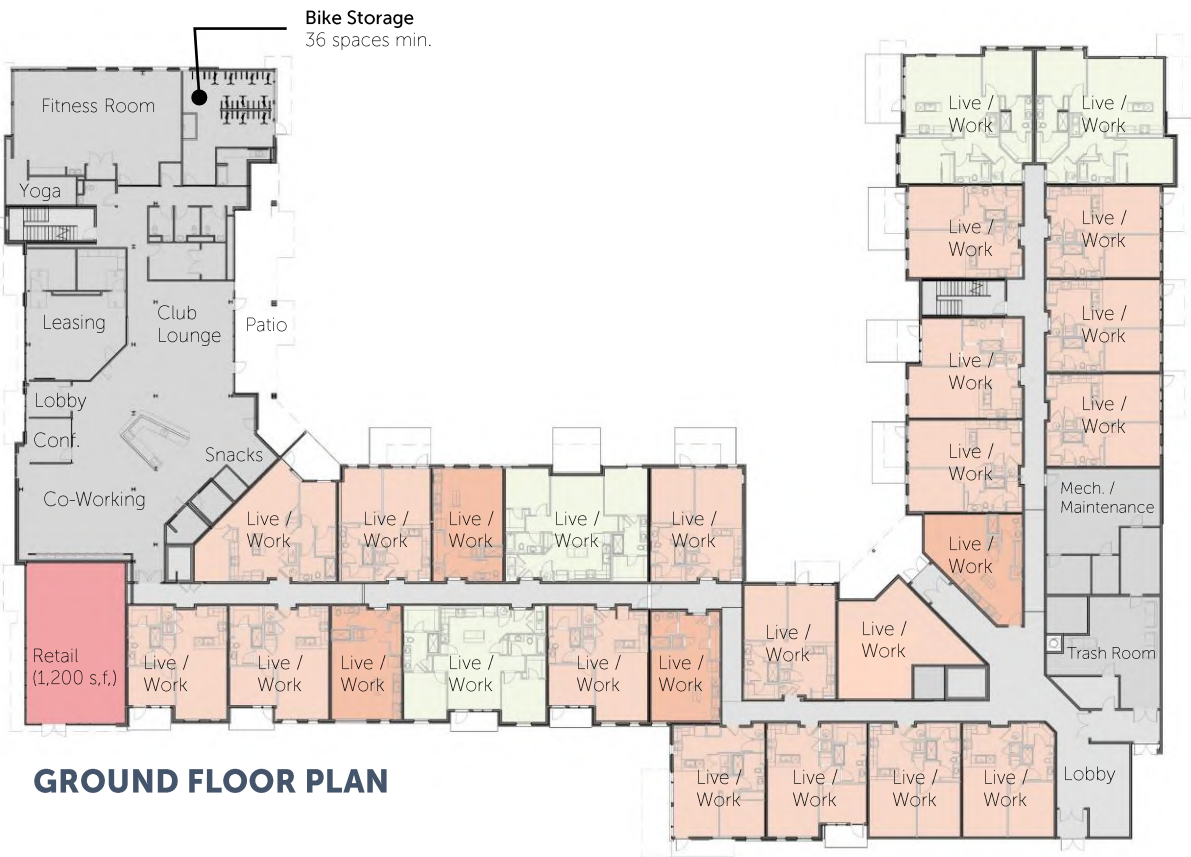
Landscaped area

Street tree

Accent paving

Bollard







Cedar Road Elevation (Street level windows = 74.9% of lineal frontage)



Shared Street Elevation



Courtyard Elevation looking west



Courtyard Elevation looking north





District Context Map



Building Corner Massing



**A** Upper Cleveland Heights High School



**B** At&T Building



**C** Lower Cleveland Heights High School



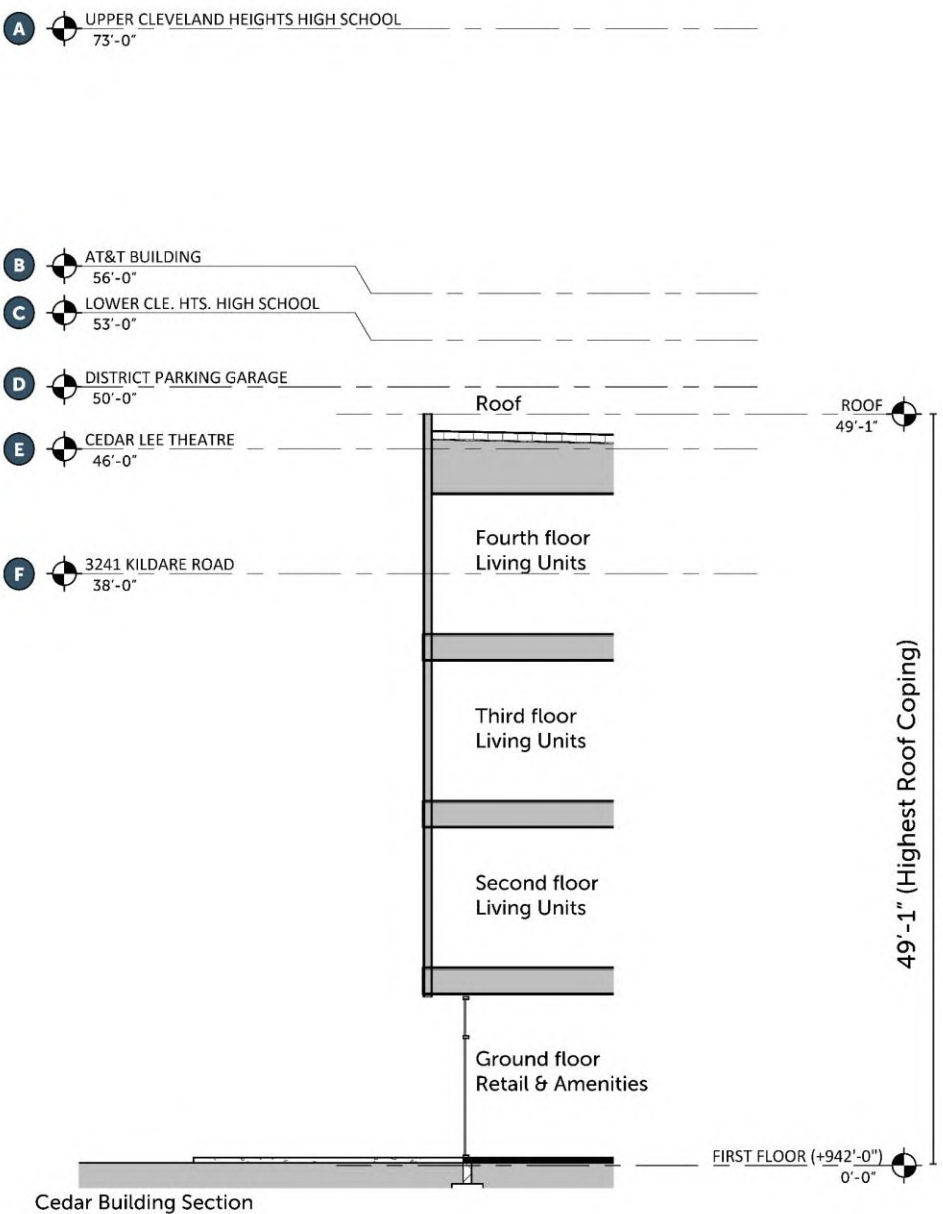
**D** District Parking Garage



**E** Cedar Lee Theatre



**F** 3241 Kildare Road











Cedar Lee Meadowbrook Development | Looking along Shared Street towards Cedar Road





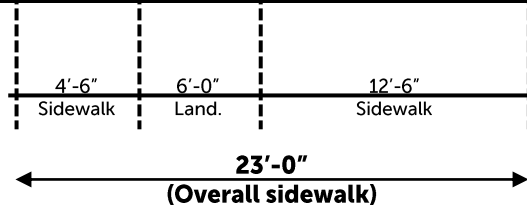












Landscaped area

Street tree

Tullamore Road

Bench

Accent paving

Line of building above

Bike Room

Lobby

Covered Patio

Retail (7,000 s.f.)

Outdoor Dining Area

23'-0"

Lee Road



**GROUND FLOOR PLAN**



**SECOND & THIRD FLOOR PLANS**



**FOURTH FLOOR PLAN**

**Lee Road 4th Floor Terrace**  
8'-3" deep for 55% of lineal frontage



Lee Road Elevation (Street level windows = 88.9% of lineal frontage)



Tullamore Road Elevation



Meadowbrook Boulevard Elevation



Courtyard Elevation looking west

















