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Cedar-Lee-Meadowbrook

Flaherty & Collins | Final Planning Commission Review V.2 | 02.09.22



CLEVELAND
HEIGHTS



FLAHERTY & COLLINS
PROPERTIES



City
Architecture

Preliminary Planning Commission Review (12/8/2021)

Primary comments from 12/8 Preliminary Planning Commission Review:

1. Building heights and presence (notably along Cedar Road)
2. Neighborhood context and relationship (size, scale and setback)
3. Lighting, landscaping, trash / service areas, and signage considerations
4. Sustainability measures (notably which standard the initiative will be following)

What you will see as a direct result:

- Updated building elevations, streetscape plans and accompanying materials
- Model views that better illustrate the initiative's relationship to its context
- Plans and diagrams that show streetscaping, landscaping, lighting and other information
- Renderings that communicate Cedar-Lee's enhanced experience through architecture and open spaces



Cedar Lee Meadowbrook Development Overall project area

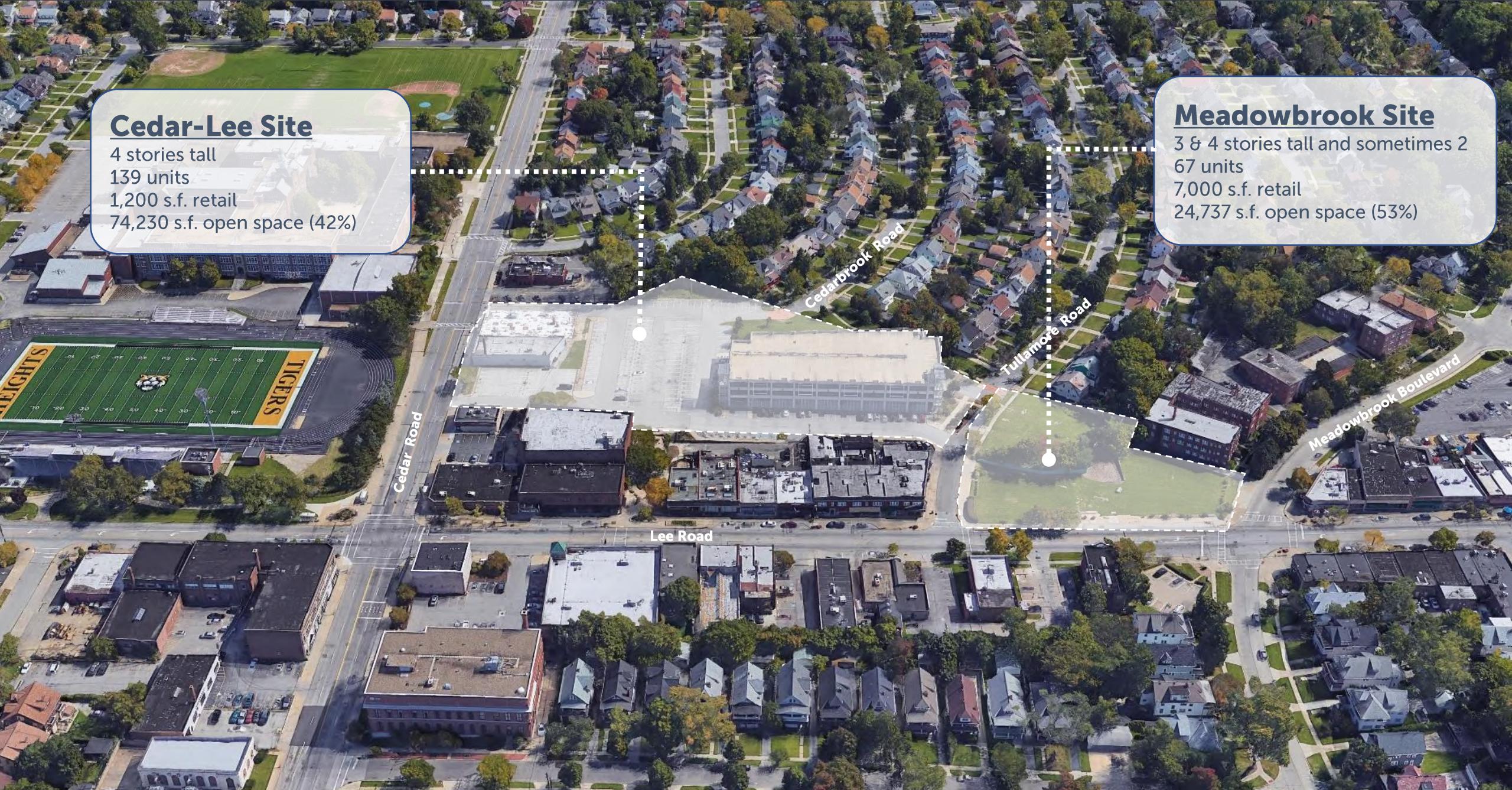
Flaherty & Collins | City Architecture

Cedar-Lee-Meadowbrook

Development Vision

Sustainability Components

- Initiative will meet criteria from the National Green Building Standard (NGBS)
- Expanded tree canopy – addition of 70+ new trees
- Light-colored roofs that are solar-ready
- International Dark-Sky Association approved Dark Sky friendly LED light fixtures
- Electric vehicle charging station
- Multiple bike parking locations throughout site + indoor bike rooms for residents
- On-site stormwater management
- Native landscaping / pollinator & habitat-supportive plant selections





PARKING LOT



ADJACENT MINI PARK



UNDERUTILIZED PARKING GARAGE



ADJACENT TREES AND GREEN SPACE



GARAGE AND LOT CONTEXT





UNDERUTILIZED SPACE

OPEN SPACE

LEE ROAD STREETSCAPE CONTEXT



UNDERUTILIZED SPACE

TULLAMORE TOPOGRAPHY

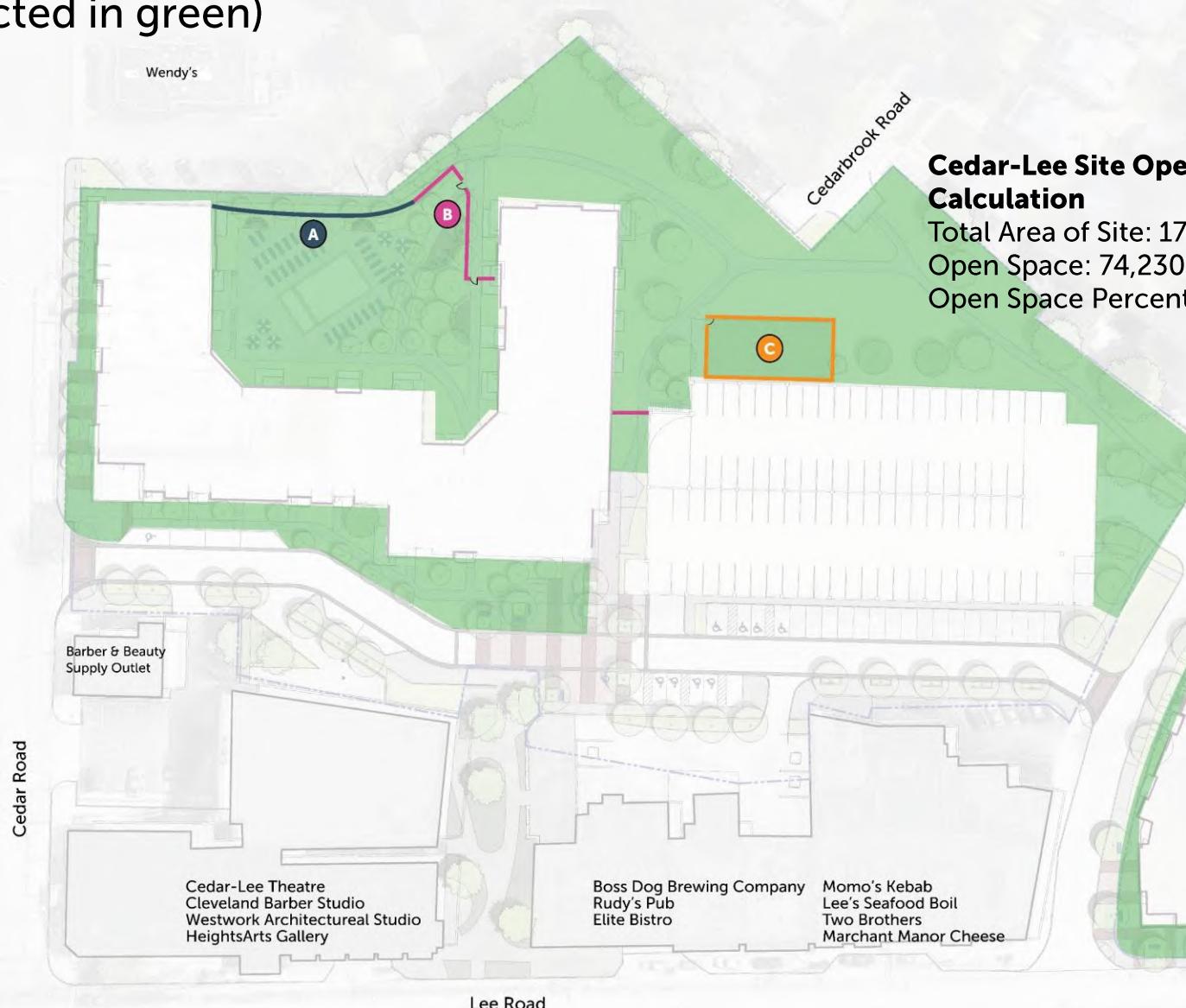
Total Open Space: 2.3 acres

(Areas reflected in green)

Cleveland Heights
High School

Wendy's

Heights High
Football Field &
Track



Cedar-Lee Site Open Space Calculation

Total Area of Site: 176,980 s.f.
Open Space: 74,230 s.f. (1.7 acres)
Open Space Percentage: 42%

Fence Types



A 6' BOARD-ON-BORD
PRIVACY FENCE



B 6' TALL DECORATIVE
ALUMINUM FENCE

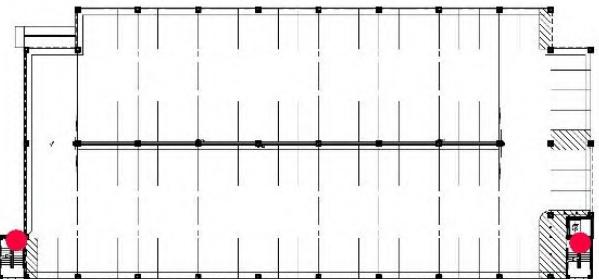


C DECORATIVE FENCE AT DOG
RUN

Meadowbrook Site Open Space Calculation

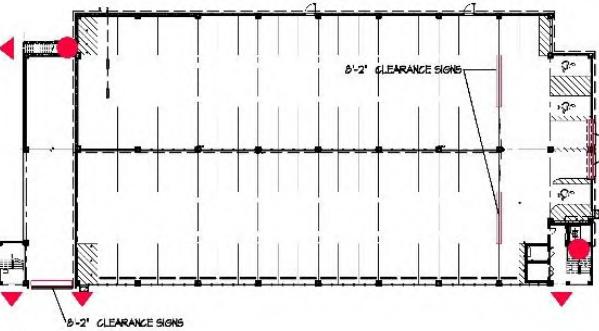
Total Area of Site: 46,275 s.f.
Open Space: 24,737 s.f. (0.6 acres)
Open Space Percentage: 53%

► EXIT DISCHARGE
● EXIT ENCLOSURE/WAY



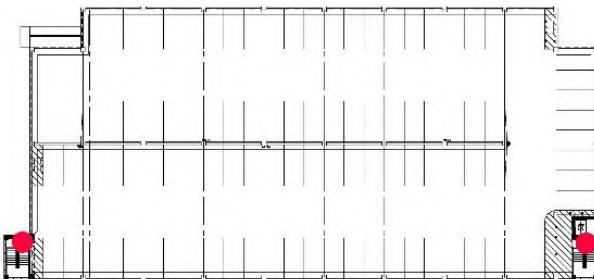
LEVEL 3

LIFE SAFETY/ EGRESS PLAN
30,057 S.F. - NEW CONSTRUCTION



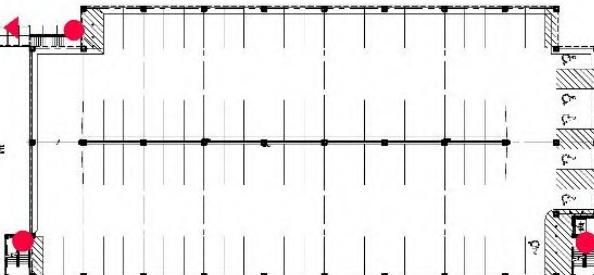
LEVEL 1

LIFE SAFETY/ EGRESS PLAN
29,820 S.F. - NEW CONSTRUCTION



LEVEL 4

LIFE SAFETY/ EGRESS PLAN
29,091 S.F. - NEW CONSTRUCTION



LEVEL 2

LIFE SAFETY/ EGRESS PLAN
30,057 S.F. - NEW CONSTRUCTION

408.3 LENGTH OF OPENINGS
NOT OPENINGS PROVIDE ON 4 SIDES OF TIERS ON EVERY LEVEL.
** FIRST FLOOR HAS SMALLEST PERCENTAGE OF OPENINGS AND THE LEAST LENGTH OPENINGS. VALUES IN CHART ARE FOR THE FIRST FLOOR.
FIRST FLOOR O.A. HALL AREA: 10340 S.F. FIRST FLOOR VENTED AREA: 3586 S.F.
FIRST FLOOR O.A. PERIMETER OR GARAGE AREA: 101 S.F. LENGTH OF OPENINGS
FLOOR GARAGE AREA: 491 S.F. (6488).

408.3.4 USES: NOT APPLICABLE.

408.3.5 AREA AND HEIGHT: AREA AND HEIGHT, SINGLE USE, WHEN THE OPEN PARKING GARAGE OR STORAGE OF PRIVATE MOTOR VEHICLES, WITH NO OTHER FUNCTIONS IN THE BUILDING PERMITTED TO COMPLY WITH TABLE 408.3.5 ALONG WITH INCREASES IN 408.3.

NOTE: PROPOSED GARAGE MEETS THESE REQUIREMENTS; REFER TO CHART 5, B1 FOR HEIGHT AND AREA TABLES.

INCREASES INDICATED IN SECTION 408.3.6 ARE NOT REQUIRED FOR PROPOSED GARAGE.

408.3.7 LOCATION ON PROPERTY: EXTERIOR HALLS AND OPENINGS SHALL COMPLY WITH TAB 1 ADJACENT LOT LINE SHALL BE DETERMINED IN ACCORDANCE WITH TABLE 602 AND SECTION 1 NOTE: REFER TO TABLES 601 AND 602 AS WELL AS CHAPTER 7 REVIEW BELOW.

408.3.8 MEANS OF EGRESS: EGRESS SHALL CONFORM TO CHAPTER 10.
NOTE: REFER TO CHAPTER 10 REVIEW BELOW.

408.3.9 STANDPIPE: STANDPIPE SHALL CONFORM TO CHAPTER 4.
NOTE: REFER TO CHAPTER 4, SECTION 905 STANDPIPE SYSTEMS REVIEW BELOW.

408.3.10 SPRINKLER SYSTEMS: BUILDING SHALL CONFORM TO CHAPTER 4.
NOTE: REFER TO CHAPTER 4, SECTION 908 AUTOMATIC SPRINKLER SYSTEMS REVIEW.
NOTE: SPRINKLERS ARE NOT PROPOSED FOR GARAGE.

408.3.11 ENCLOSURE OF VERTICAL OPENINGS: ENCLOSURE OF VERTICAL OPENINGS NOT REQUIRED ACCORDING TO SECTION 104, EXCEPTION B.
NOTE: FIRE-RATED VERTICAL ENCLOSURES ARE NOT PROPOSED FOR GARAGE.

408.3.12 VENTILATION: VENTILATION, OTHER THAN THE PERCENTAGE OF OPENINGS SPECIFIED IN SECTION 104, IS NOT REQUIRED.

GENERAL BUILDING LIMITATIONS: TABLE 503

TABLE 503	
5-2	
ALLOWABLE HEIGHT (FEET):	55'
TABLE 1: 50' (NO SPRINKLER INCREASE)	
ALLOWABLE HEIGHT (STOREIES ABOVE GRADE):	4 STOREYS
TABLE 1: 4' (NO SPRINKLER INCREASE)	
ALLOWABLE FLOOR AREA (PER FLOOR):	52,500 S.F. PER FLOOR
(TABLE 1 - SPRINKLER + FRONTAGE)	
TABLE 1: 38,000 S.F.	
SPRINKLER INCREASE: 0' (NO SPRINKLERS)	
PERCENTAGE INCREASE: 25 X TABLE 1 = 8,000 S.F.	
* FRONTAGE INCREASE AVAILABLE IS A MINIMUM OF 50 PERCENT OF OVERALL FRONTAGE.	

BUILDING GROSS AREAS:

FLOOR	GROSS AREA
1ST FLOOR/TIER (GROUND LEVEL)	24,820 S.F.
2ND FLOOR/TIER	80,057 S.F.
3RD FLOOR/TIER	30,057 S.F.
4TH FLOOR/TIER (ROOF LEVEL)	24,041 S.F.
TOTAL GROSS BUILDING AREA:	114,925 S.F.

CONSTRUCTION TYPE:

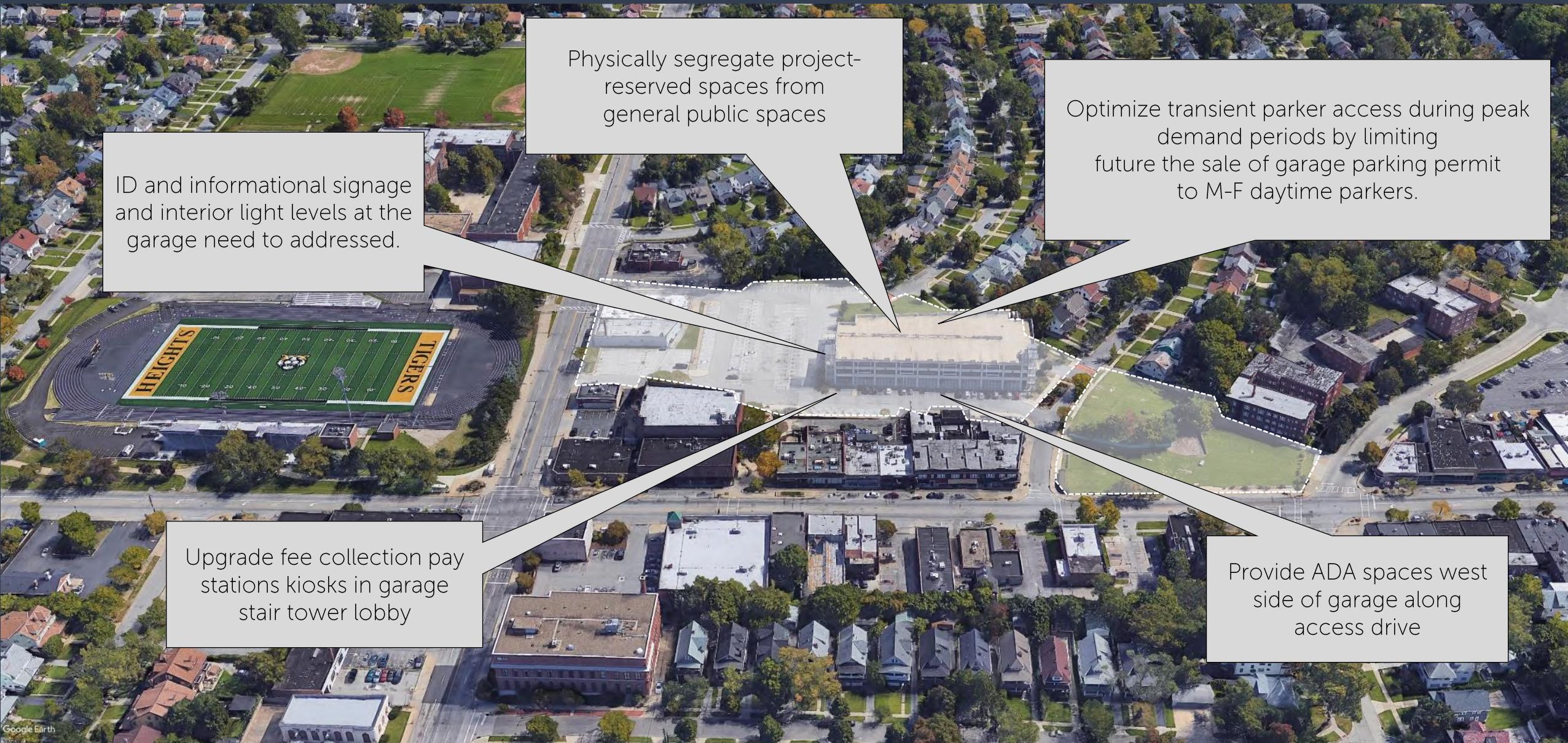
I-1B, UNPROTECTED

District-wide existing parking conditions



- 23 Off-street facilities provide 1,410 parking spaces (*including High School Lots*)
 - 59% Public (City Controlled)
 - 27% Semi-Public (H.S. and Library Controlled)
 - 14% Private
- 46 Metered on-street spaces
- Existing parking supply evenly distributed north to south, but mostly concentrated on east side of Lee Road.
- Parking demand typically peaks on Fridays and Saturdays between 5:00pm and 10:00pm
- DESMAN has Pre-COVID parking survey data for the area from 2019

Project Parking Plan Recommendations:



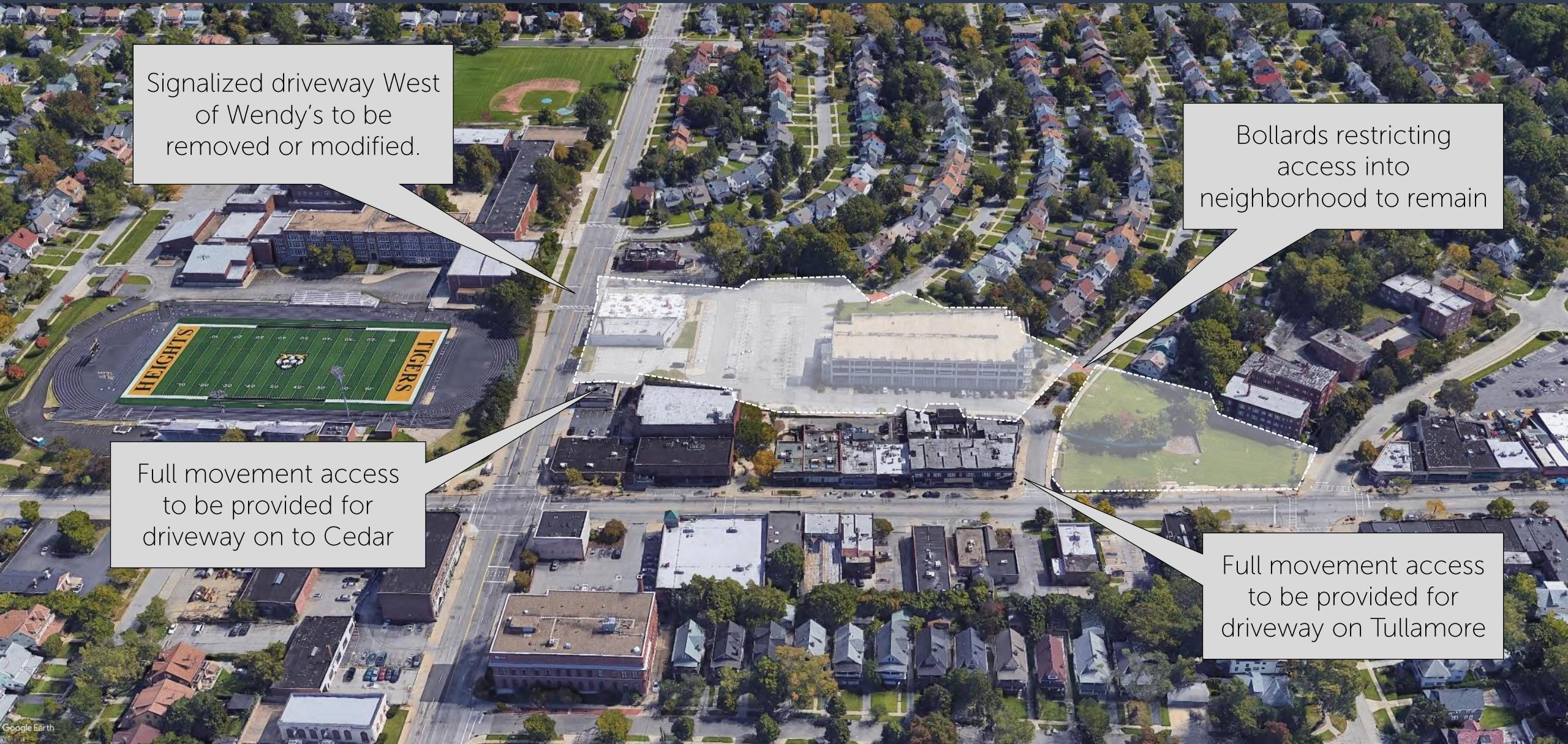
Cleveland Heights
High School

Wendy's

Heights High
Football Field &
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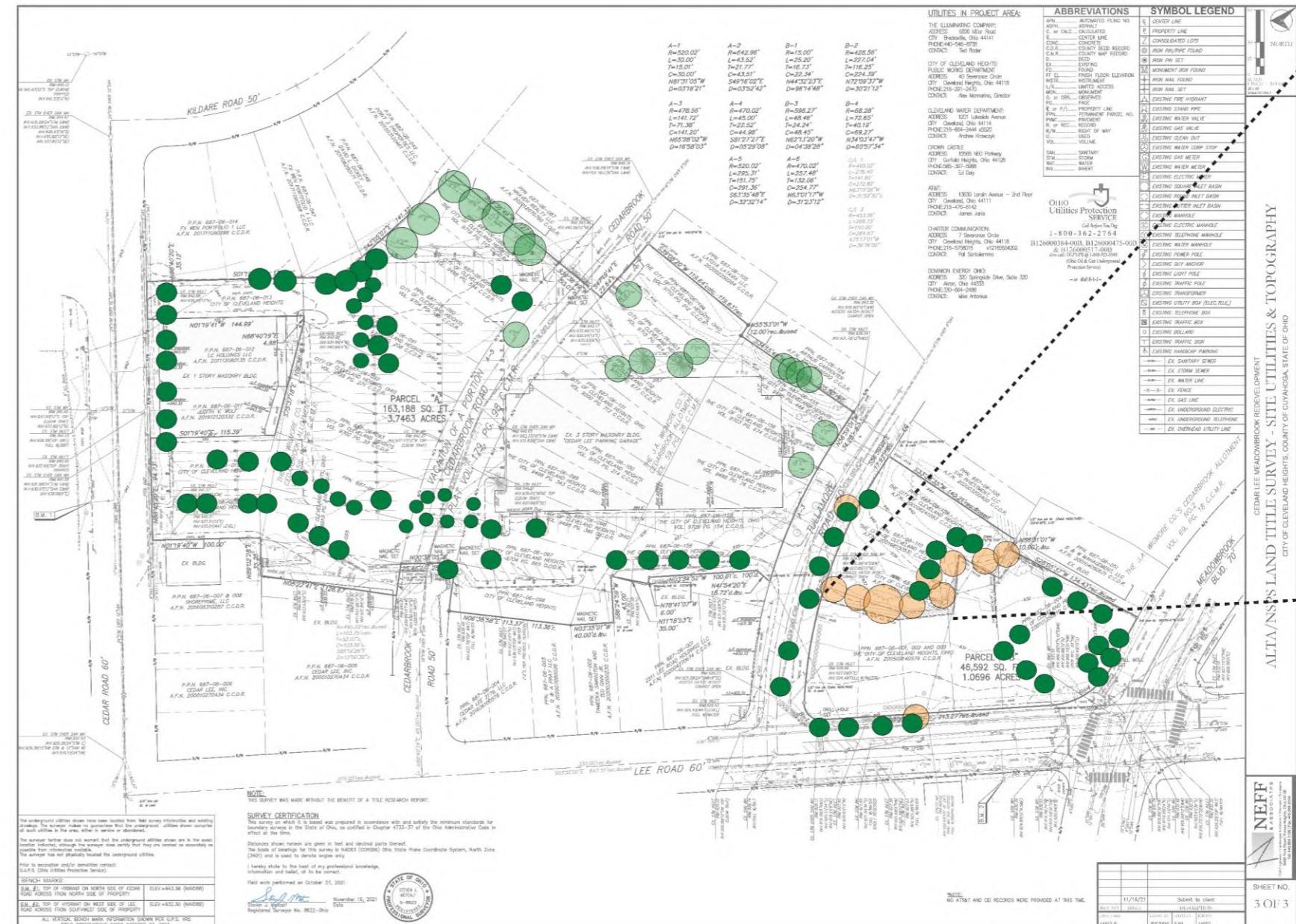
Trip Distribution - Site Access



Cleveland Heights
High School

Wendy's





Meadowbrook Site Trees

Drawing Key

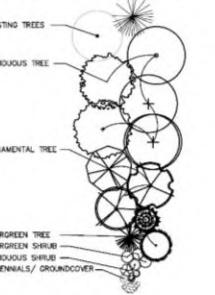
	EXISTING 6" CALIPER (OR LARGER) TREE TO BE REMOVED:	11 TREES (approx.)
	EXISTING 6" CALIPER (OR LARGER) TREE TO REMAIN:	20 TREES (approx.)
	PROPOSED NEW TREES:	84 TREES*

*NOTE: ADDITIONAL LANDSCAPING WILL BE INSTALLED

LANDSCAPE NOTES

- CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND VERIFYING ALL PLANT MATERIAL SHOWN ON THE PLANS. ANY PLANT MATERIAL SUBSTITUTIONS TO BE VERIFIED AND APPROVED BY LANDSCAPE ARCHITECT OR OWNER PRIOR TO INSTALLATION.
- HATCHED PLANT AREA DIMENSIONS ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL HATCHED PLANTING AREAS AT SPACING LISTED IN PLANT LIST SUMMARY.
- CONTRACTOR TO PROVIDE DOUBLE SHREDDED MULCH PER DETAILS AND SPECIFICATIONS AT ALL PLANTING BEDS. PROVIDE A MIN. 3' DIAMETER MULCH BED AROUND EACH INDIVIDUAL TREE LOCATED IN MANICURED LAWNS/SEED AREAS UNLESS TREES ARE INCORPORATED IN A PLANTING BED. FOR TREES LOCATED IN MANICURED PLANTING AREAS, PROVIDE A MIN. 5' DIAMETER MULCH BED AROUND EACH INDIVIDUAL TREE. MULCH COLOR SHALL BE NATURAL AND NOT DYED, AND MATCH EXISTING BEDS (ALMOST OTHERWISE SPECIFIED BY THE OWNER, CONTRACTOR SHALL SUPPLY MULCH SAMPLES TO OWNER FOR APPROVAL PRIOR TO ORDERING).
- ONCE FINAL GRADE IS ESTABLISHED, ALL PLANTING BEDS SHALL RECEIVE 4" DEPTH OF PLANTING SOIL MIX PER THE SPECIFICATIONS AND DETAILS. ALL SPECIFIED PLANTING BEDS SHALL RECEIVE A MIN. 4" OF TOPSOIL PER THE SPECIFICATIONS. SALVAGED OR EXISTING TOPSOIL CAN BE RE-USED IF SPECIFICATIONS ARE MET AND APPROVED BY OWNER.
- PLACEMENT OF PLANTING MATERIALS SHALL NOT AFFECT THE EXISTING DRAINAGE PATTERN ON SITE. THIS INCLUDES BUT IS NOT LIMITED TO PLACING MATERIALS IN OR NEAR SWALES OR CREATING MOUNDS THAT BLOCK THE INTENDED SURFACE DRAINAGE PATTERN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING ALL PLANT MATERIAL AND SEeded AREAS UNTIL SUBSTANTIAL COMPLETION OF PROJECT. SLOW RELEASE WATERING BAGS SHOULD BE USED ON ALL TREES.
- ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE DURING, AND AFTER INSTALLATION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PROPOSED UTILITY ROUTINGS AND LOCATING ALL EXISTING UTILITIES ON THE PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER OF THE LOCATIONS OF ALL EXISTING UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES AND OTHER EXISTING FEATURES (PERIOD 3) TO PROTECT ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
- APPLY A PRE-EMERGENT HERBICIDE, PENDIMETHALIN OR QUADAZON OR APPROVED SIMILAR, TO TREE, SHRUB, AND GROUNDCOVER AREAS IN ACCORDANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS. DO NOT APPLY TO SEeded AREAS.

PLANT LEGEND



KEY NOTES

- SEED
- MULCH LINE/MULCH BED
- SPECIALTY PAVEMENT
- EXISTING PERMEABLE PAVERS
- NEW PERMEABLE PAVERS TO MATCH EXISTING
- PRIVACY FENCE
- GATE
- BOLLARDS
- BIKE RACKS
- BENCHES

PLANT LIST - SUMMARY TABLE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND	SPACING	L2.1	L2.2	TOTAL
DECIDUOUS TREES								
AC FR ¹	ACER FREDIANI 'AUTUMN BLAZE'	ACER FREDIANI 'AUTUMN BLAZE'	2.5' CAL.	B&B	AS SHOWN	0	0	0
AC RR ¹	ACER BURM. 'RED ROCKET'	RED ROCKET MAPLE	2.5' CAL.	B&B	AS SHOWN	0	0	0
AC RU ¹	ACER BURM. 'RED SUNSET'	RED SUNSET MAPLE	2.5' CAL.	B&B	AS SHOWN	0	0	0
BE NF ¹	BETULA NIGRA	RIVER BIRCH	8' HT.	B&B (CLUMP)	AS SHOWN	0	0	0
CA CA ¹	CARPINA CAROLINIANA	AMERICAN HORNBEEAM	2.5' CAL.	B&B	AS SHOWN	0	0	0
GU B ¹	QUERCOUS BICOLOR	RED OAK	2.5' CAL.	B&B	AS SHOWN	0	0	0
GU RU ¹	QUERCOUS RUBRA	NORTHERN RED OAK	3' CAL.	B&B	AS SHOWN	0	0	0
ZE SE ¹	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	2' CAL.	B&B	AS SHOWN	0	0	0
EVERGREEN TREES								
AB CO ¹	ABIES CONCOLOR	WHITE FIR	6' HT.	B&B	AS SHOWN	0	0	0
PI AB	PICTA ABIES	NORWAY SPRUCE	6' HT.	B&B	AS SHOWN	0	0	0
PI ST	PISTUS SUBLIMIS	EASTERN WHITE PINE	6' HT.	B&B	AS SHOWN	0	0	0
ORNAMENTAL TREES								
AM GR ¹	AMELANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	6' HT.	B&B (CLUMP)	AS SHOWN	0	0	0
CE CA ¹	CERCIS CANADENSIS	THORNLESS COWSPUR HAWTHORN	6' HT.	B&B (CLUMP)	AS SHOWN	0	0	0
CR CR ¹	CRATAEUS CRUS-GALI INERMIS	JANE MAGNOLIA	2' CAL.	B&B	AS SHOWN	0	0	0
MJ	MAGNOLIA 'JANE'	PRairie CRAB	1.5' CAL.	B&B	AS SHOWN	0	0	0
MA PR ¹	MALUS 'PRAIRIE'	PRairie CRAB	1.75' CAL.	B&B	AS SHOWN	0	0	0
SHRUBS								
AH ME ¹	ARONIA MELANOCARPA 'AUTUMN MAGIC'	AUTUMN MAGIC BLACK CHokeBERRY	No. 3 (18")	CONT.	AS SHOWN	0	0	0
BU GV ¹	BUDUS X 'GREEN VELVET'	GREEN VELVET BOXWOOD	18" HT.	B&B	36" D.C.	0	0	0
CO ST ¹	CORNUS SIBERICA 'TALWOOD'	BLOODGOOD DOGWOOD	36" HT.	B&B	AS SHOWN	0	0	0
CO RA ¹	CORNUS RADicans	GRAY DOGWOOD	24" HT.	B&B	AS SHOWN	0	0	0
HY LL ¹	HYDRANGEA PANICULATA 'JANE'	LITTLE LIME HYDRANGEA	No. 3 (18")	CONT.	AS SHOWN	0	0	0
HY QU ¹	HYDRANGEA QUINQUFOLIA	OAKLEAF HYDRANGEA	No. 5 (24")	CONT.	AS SHOWN	0	0	0
IT VI ¹	IEVA VIRGINICA 'LITTLE HONEY'	LITTLE HONEY SWEETSPICE	24" HT.	B&B	AS SHOWN	0	0	0
IL GL ¹	IBEX GLAUCIA 'CONFIDIA'	BERRYBERRY HOLLY	36" HT.	B&B	AS SHOWN	0	0	0
IL ZD ¹	IBEX VERRULATA 'LM DANDY'	JM DANDY WINTERBERRY	24" HT.	B&B	AS SHOWN	0	0	0
MY PE ¹	MYRTUS PENINSULARIS	NORTHERN BERRYBERRY	36" HT.	B&B	6" D.C.	0	0	0
RH AR ¹	RIBES AROMATICUM 'GRO-LAWN'	GRO-LAWN SUMAC	24" HT.	B&B	4" D.C.	0	0	0
TH OC ¹	THALIA OCCIDENTALIS 'TERRA'	EMERALD AROMATAE	4" HT.	B&B	8" D.C.	0	0	0
ORNAMENTAL GRASSES & PERENNIALS								
BA AU ¹	BAPETISIA AUSTRALIS	BLUE FALSE INDIGO	No. 1	CONT.	AS SHOWN	0	0	0
CA AC ¹	CALAMAGROSTIS X ADOFLORIA 'KARL FOERSTER'	FEATHER REED GRASS	No. 2	CONT.	AS SHOWN	0	0	0
CA PT ¹	CALYPSOSMIS PENTSTYLIS	PENNSYLVANIA SEDGE	2" PLUG - 1" D.C.	FLATS	AS SHOWN	0	0	0
CA RA ¹	CAREX RADicans	RADIANT SEDGE	CLUMP 8"	CONT.	AS SHOWN	0	0	0
CO LO ¹	COSTEASTER LOWFAST	LOWFAST COSTEASTER	No. 3	CONT.	AS SHOWN	0	0	0
EC PU ¹	ECMOCIA PURPUREA	PURPLE CONFLOMER	No. 1	CONT.	AS SHOWN	0	0	0
EL AN ¹	ELMUS ANNUARIS 'BLUE DUNE'	BLUE DUNE LYME GRASS	No. 2	CONT.	18" D.C.	0	0	0
EL HY ¹	ELMUS HYSTRIC	BOTTLEBRUSH GRASS	No. 2	CONT.	AS SHOWN	0	0	0
LI SP ¹	LIRIOPE SPICATA	CREEPING LILY-GRASS	No. 1	CONT.	18" D.C.	0	0	0
HE HA ¹	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	No. 2	CONT.	18" D.C.	0	0	0
PA V ¹	PANICUM VIRGATUM 'HEAVY METAL'	HEAVY METAL SWITCH GRASS	No. 2	CONT.	AS SHOWN	0	0	0
SP HE ¹	SPOROBOLUS HETEROPHYLLUS	PRairie DROPSID	2" PLUG	FLATS	1" D.C.	0	0	0

SEE SHEET L2.2

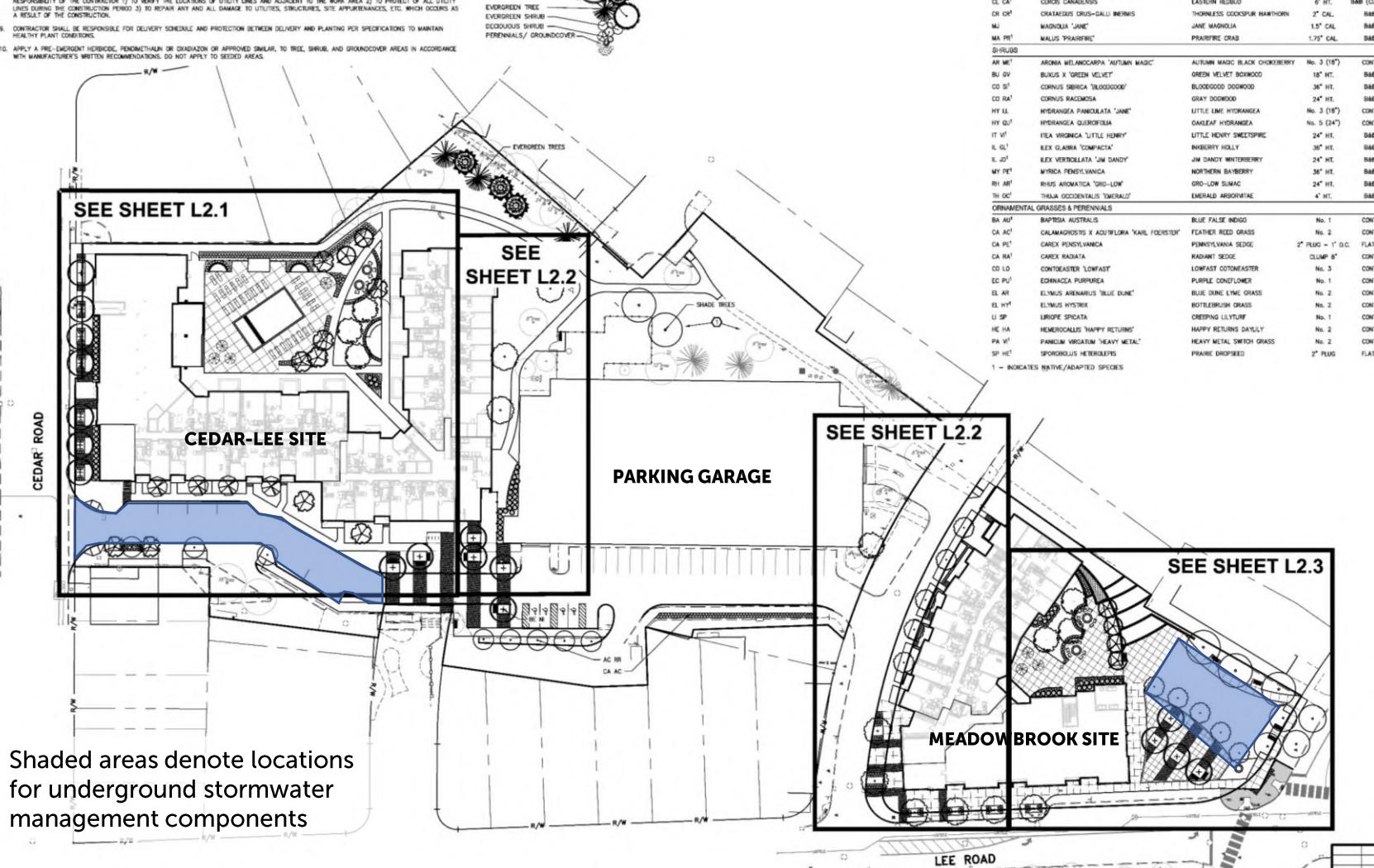
PARKING GARAGE

SEE SHEET L2.3

MEADOWBROOK SITE

LEE ROAD

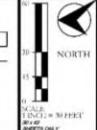
Shaded areas denote locations for underground stormwater management components



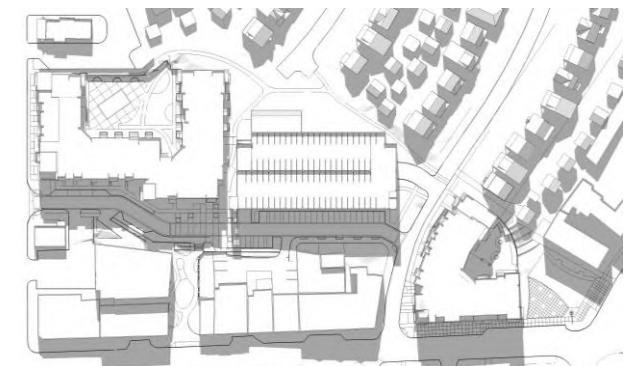
CEDAR LEE MEADOWBROOK REDEVELOPMENT

SITE LANDSCAPE PLAN

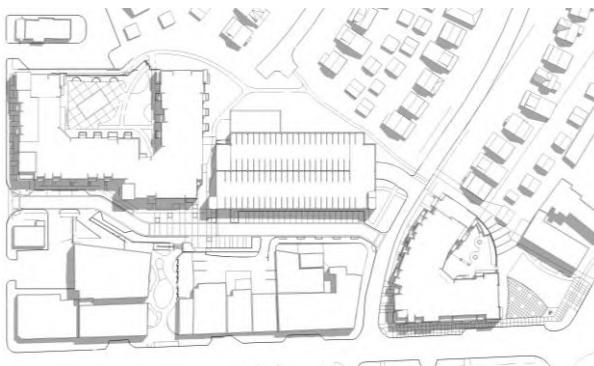
CITY OF CLEVELAND HEIGHTS, COUNTY OF CUYAHOGA, STATE OF OHIO



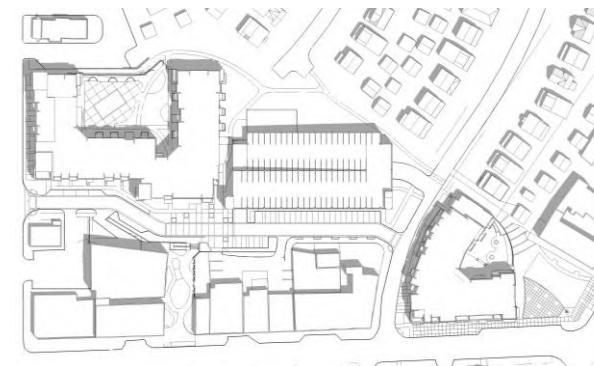
SUMMER SOLSTICE



JUNE 21: 9AM



JUNE 21: NOON



JUNE 21: 3PM

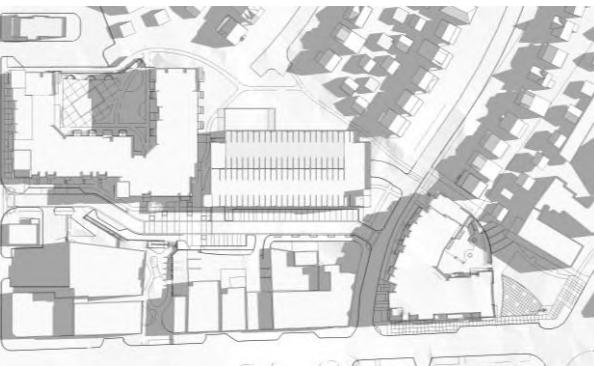


JUNE 21: 6PM

WINTER SOLSTICE



DECEMBER 21: 9AM



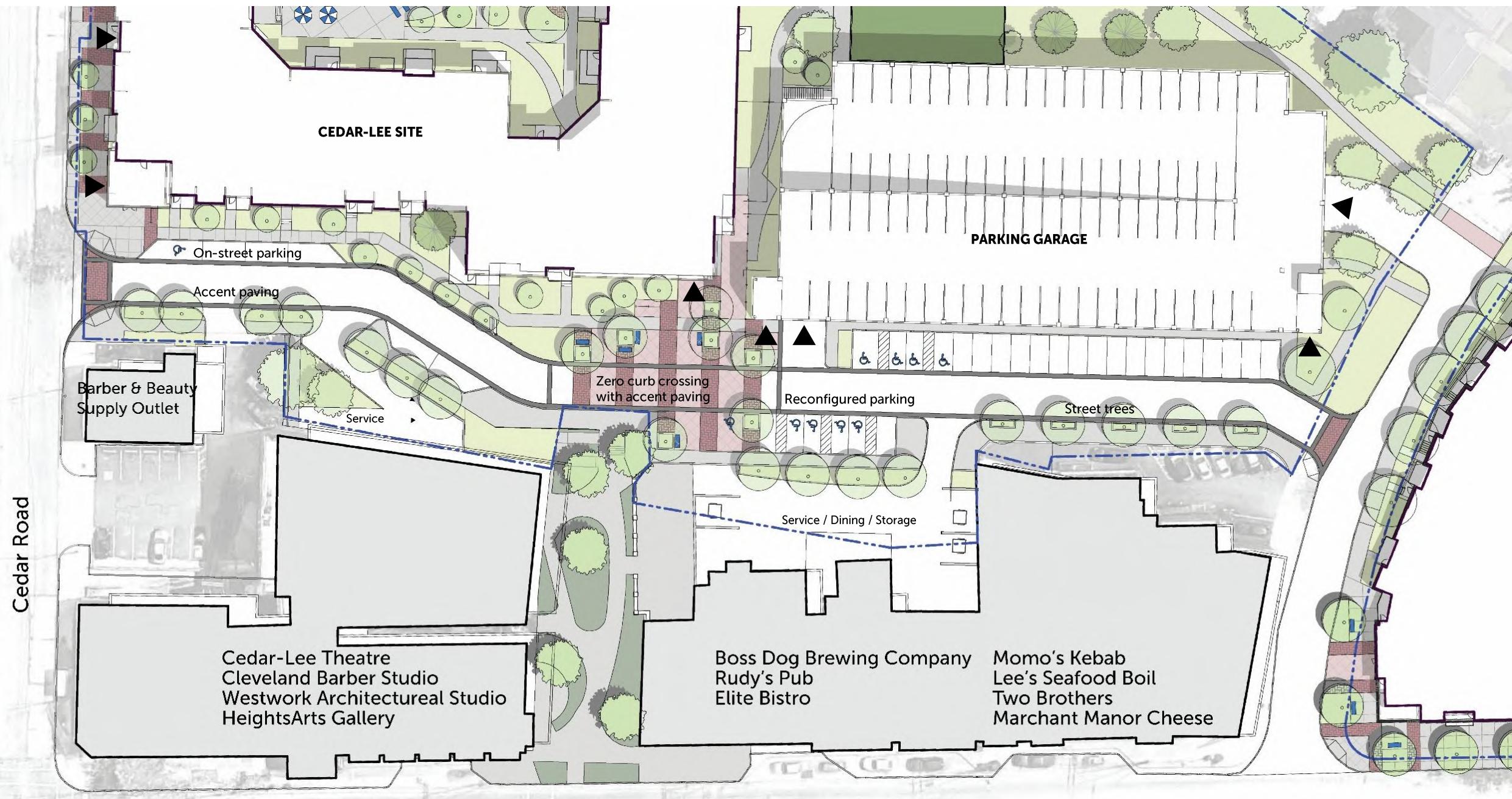
DECEMBER 21: NOON

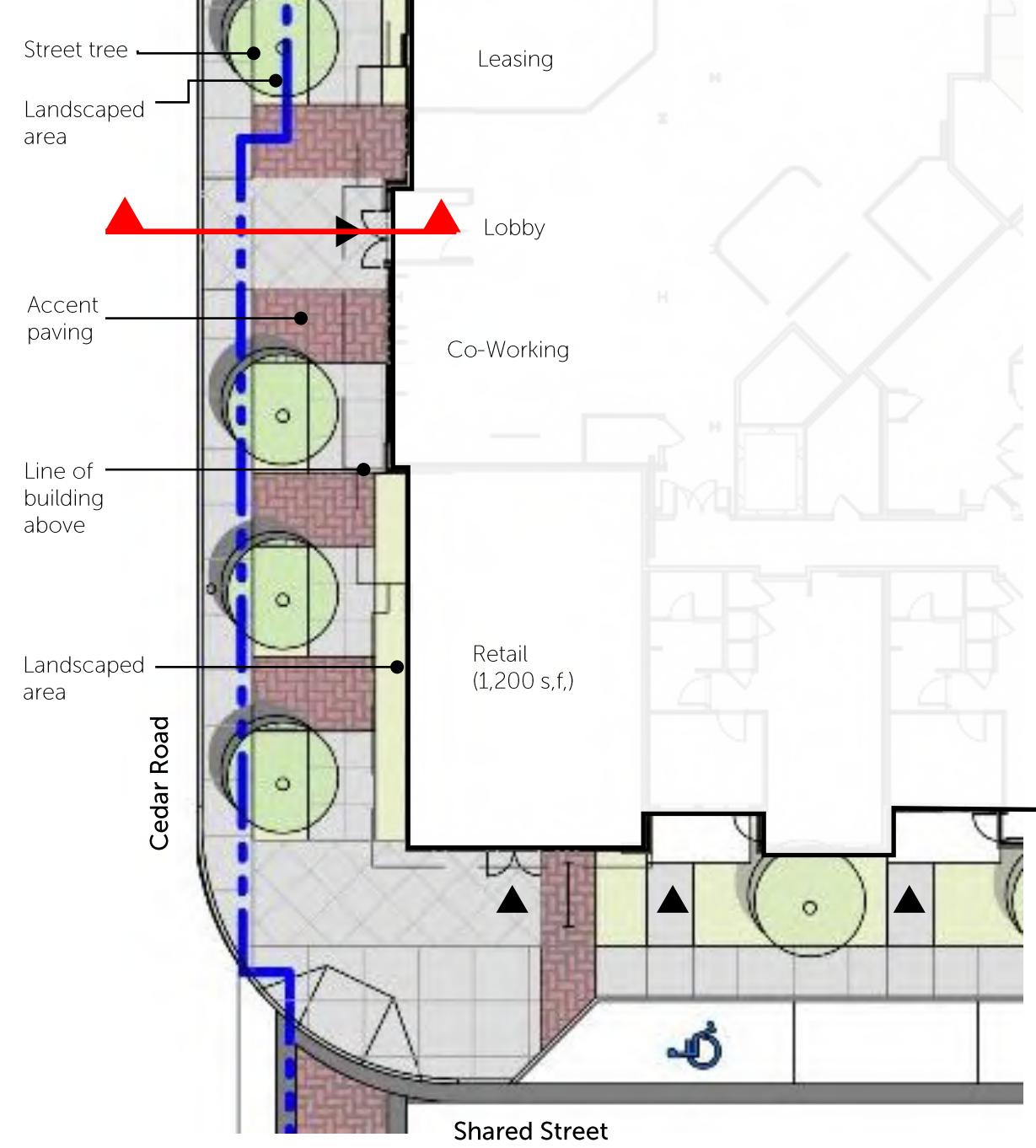
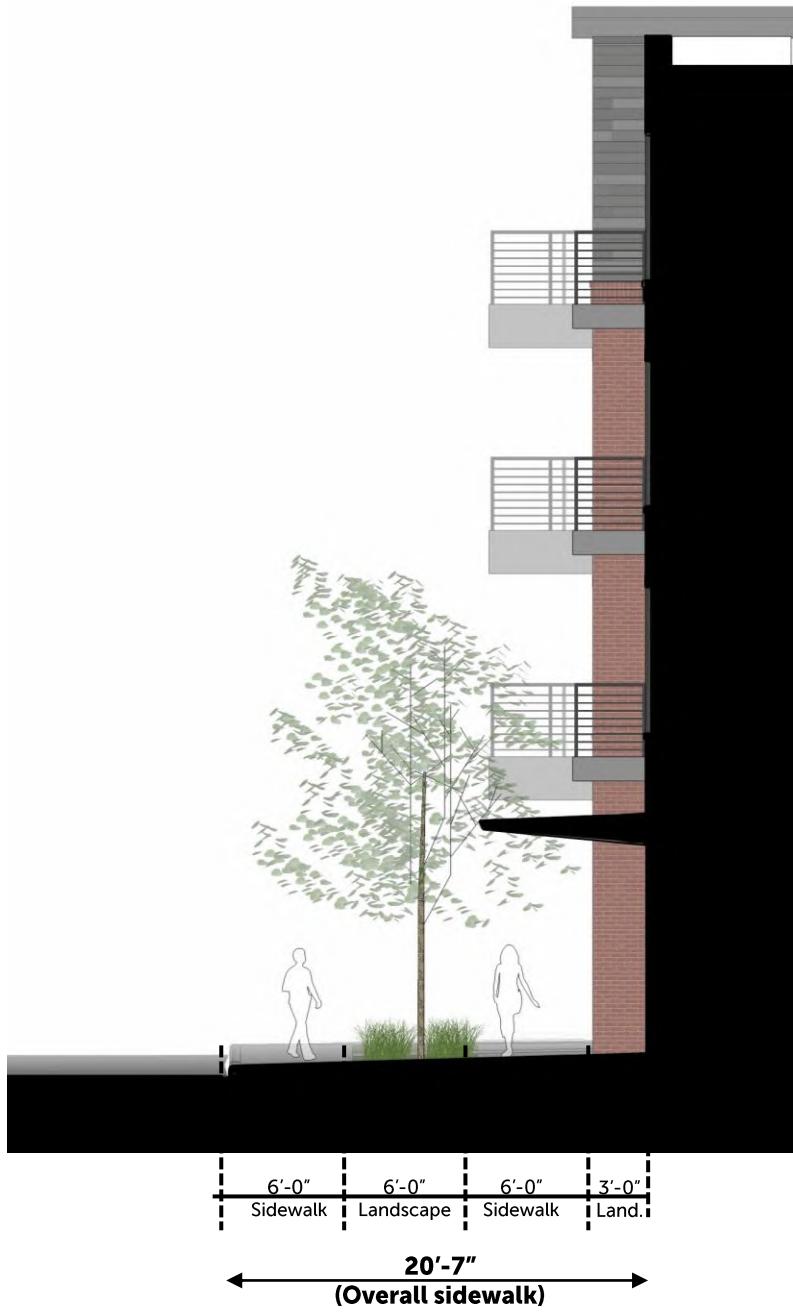


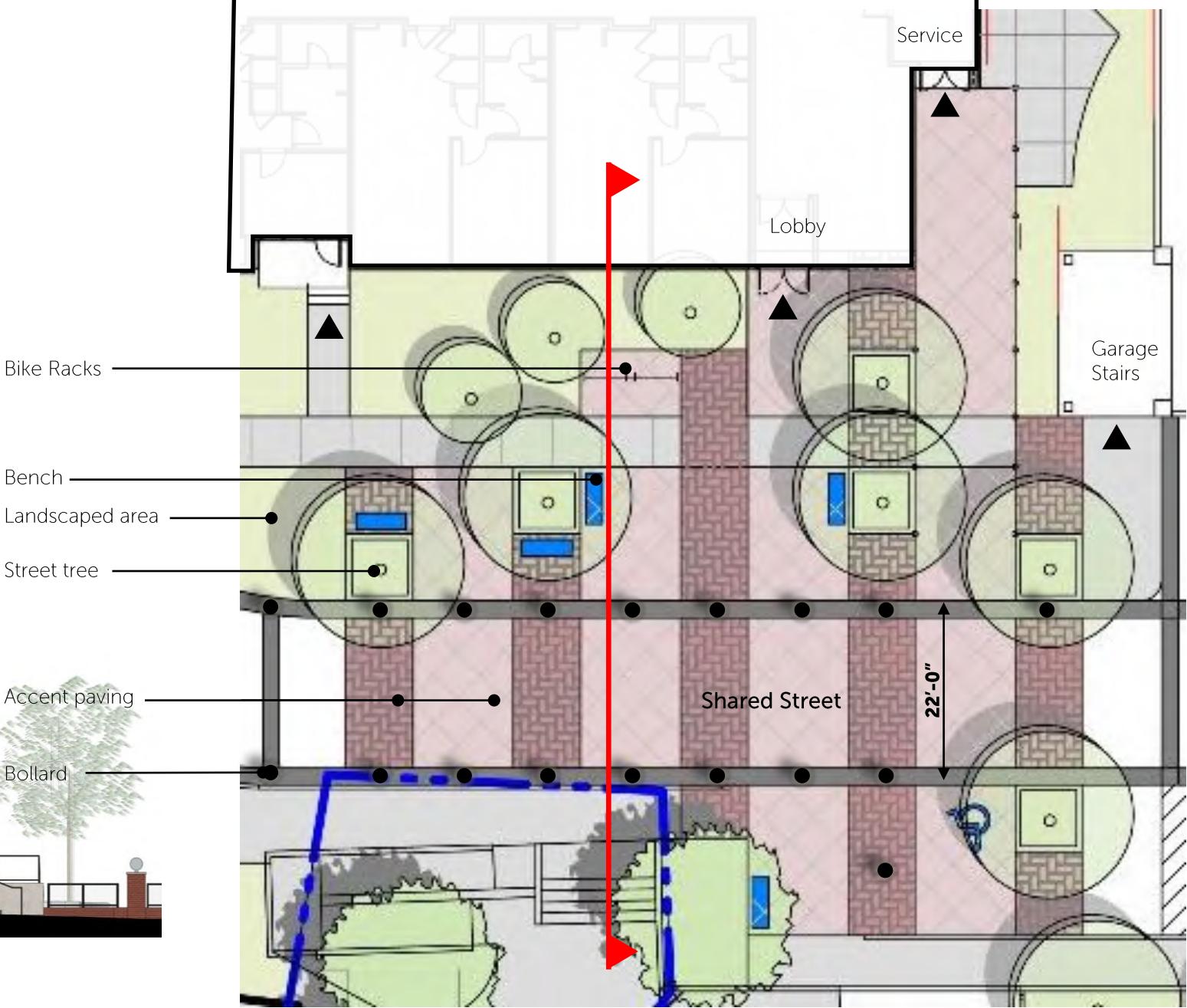
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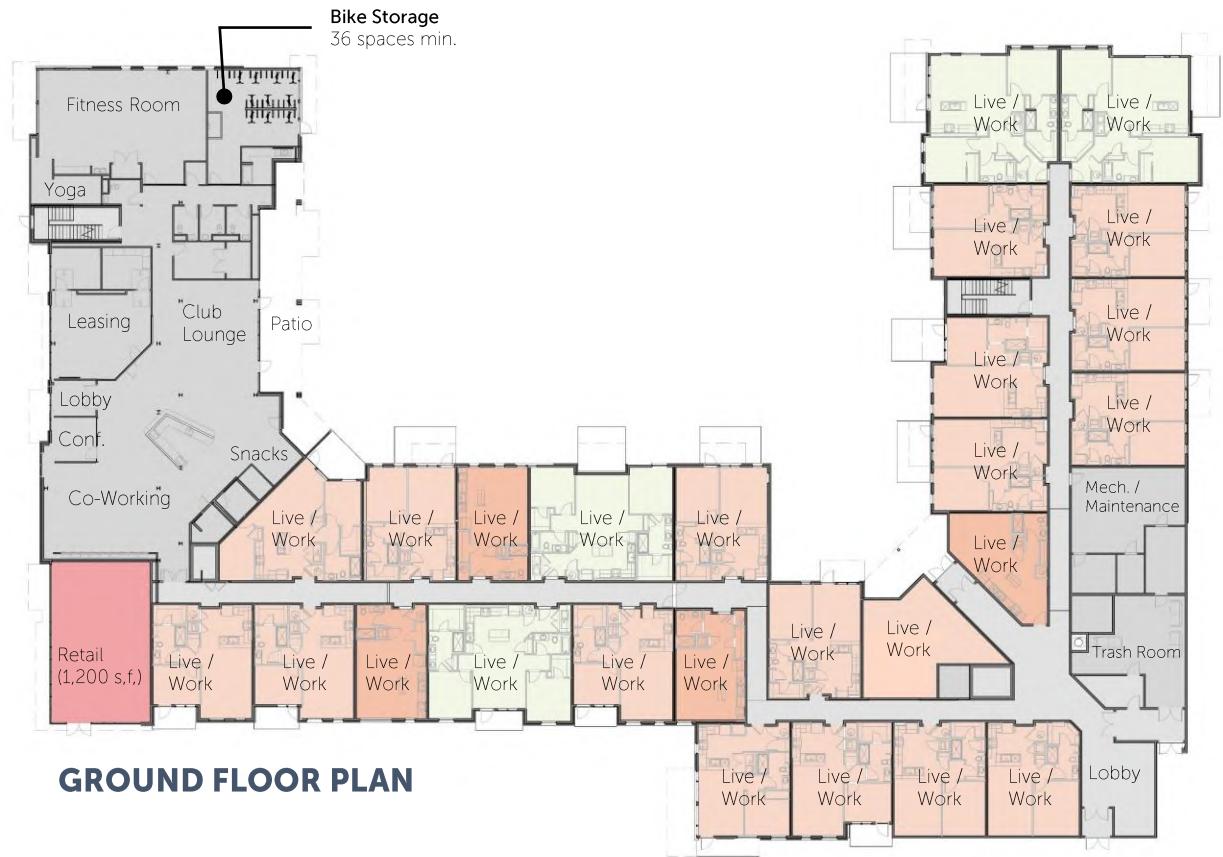


DECEMBER 21: 6PM

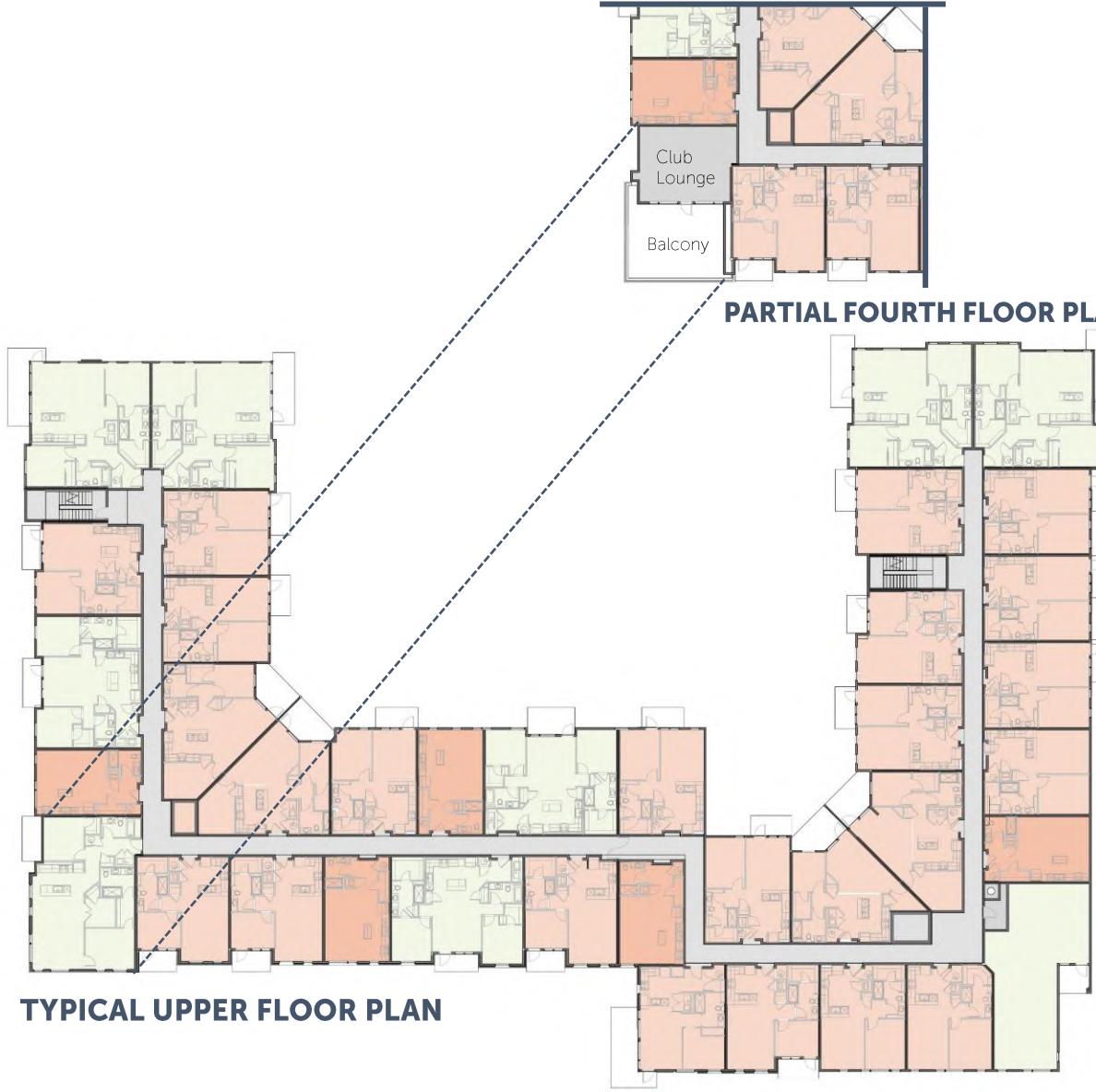








GROUND FLOOR PLAN



TYPICAL UPPER FLOOR PLAN



Cedar Road Elevation (Street level windows = 74.9% of lineal frontage)



Shared Street Elevation



Courtyard Elevation looking west



Courtyard Elevation looking north



Cedar Lee Meadowbrook Development | Cedar Lee from Cedar Road and Cleveland Heights High School

Flaherty & Collins | City Architecture



District Context Map



Building Corner Massing



A Upper Cleveland Heights High School



B At&T Building



C Lower Cleveland Heights High School



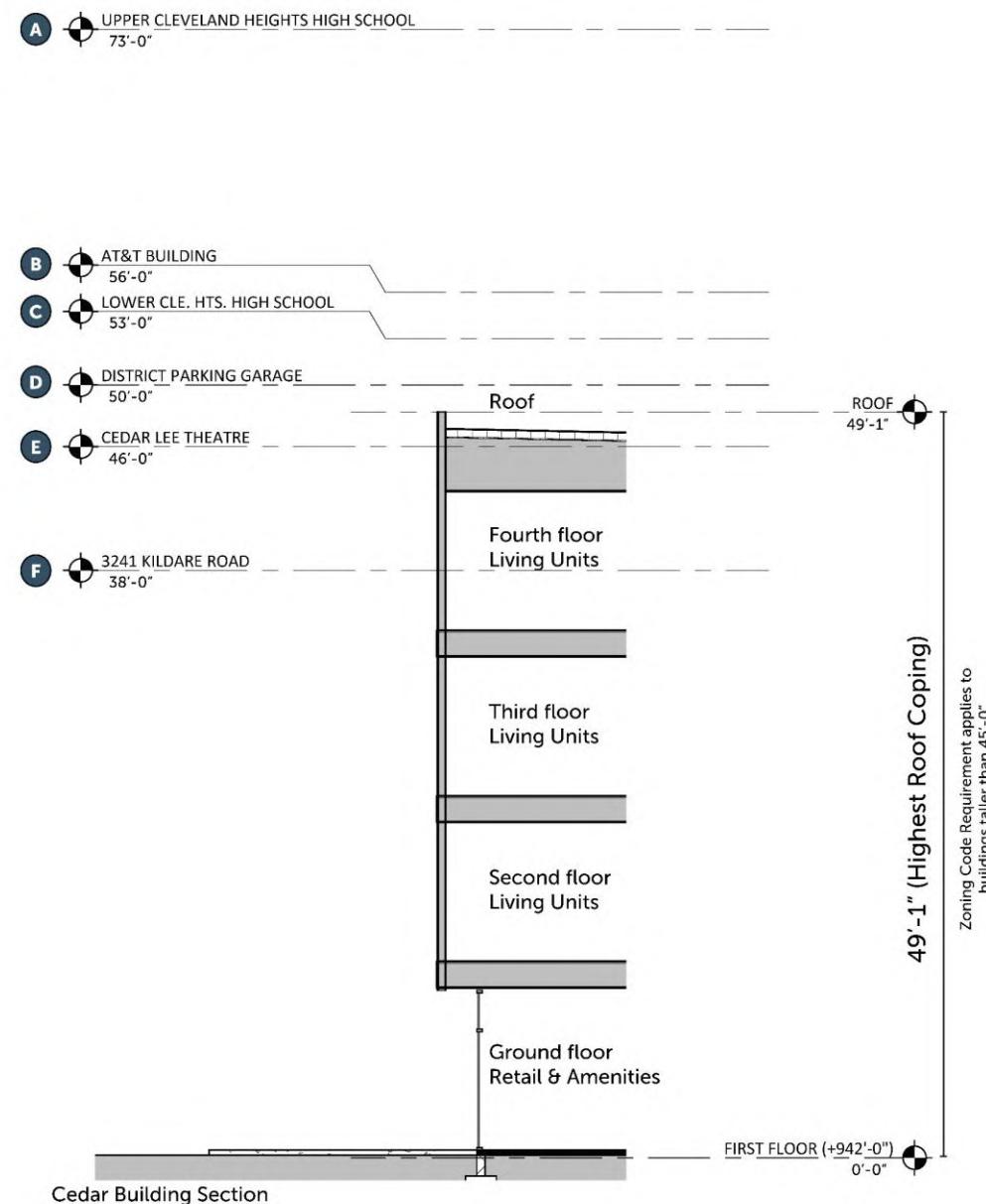
D District Parking Garage



E Cedar Lee Theatre



F 3241 Kildare Road





Cedar Lee Meadowbrook Development | Cedar Lee from Cedar Road

Flaherty & Collins | City Architecture







Cedar Lee Meadowbrook Development | Looking along Shared Street towards Cedar Road

Flaherty & Collins | City Architecture





Cedar Lee Meadowbrook Development | Shared Street plaza and crossing

Flaherty & Collins | City Architecture



Cedar Lee Meadowbrook Development | View of Cedar Lee from Cedarbrook

Flaherty & Collins | City Architecture



Cedar Lee Meadowbrook Development | Cedar Lee resident courtyard

Flaherty & Collins | City Architecture



Cedar Lee Meadowbrook Development | Cedar Lee Site Existing Conditions

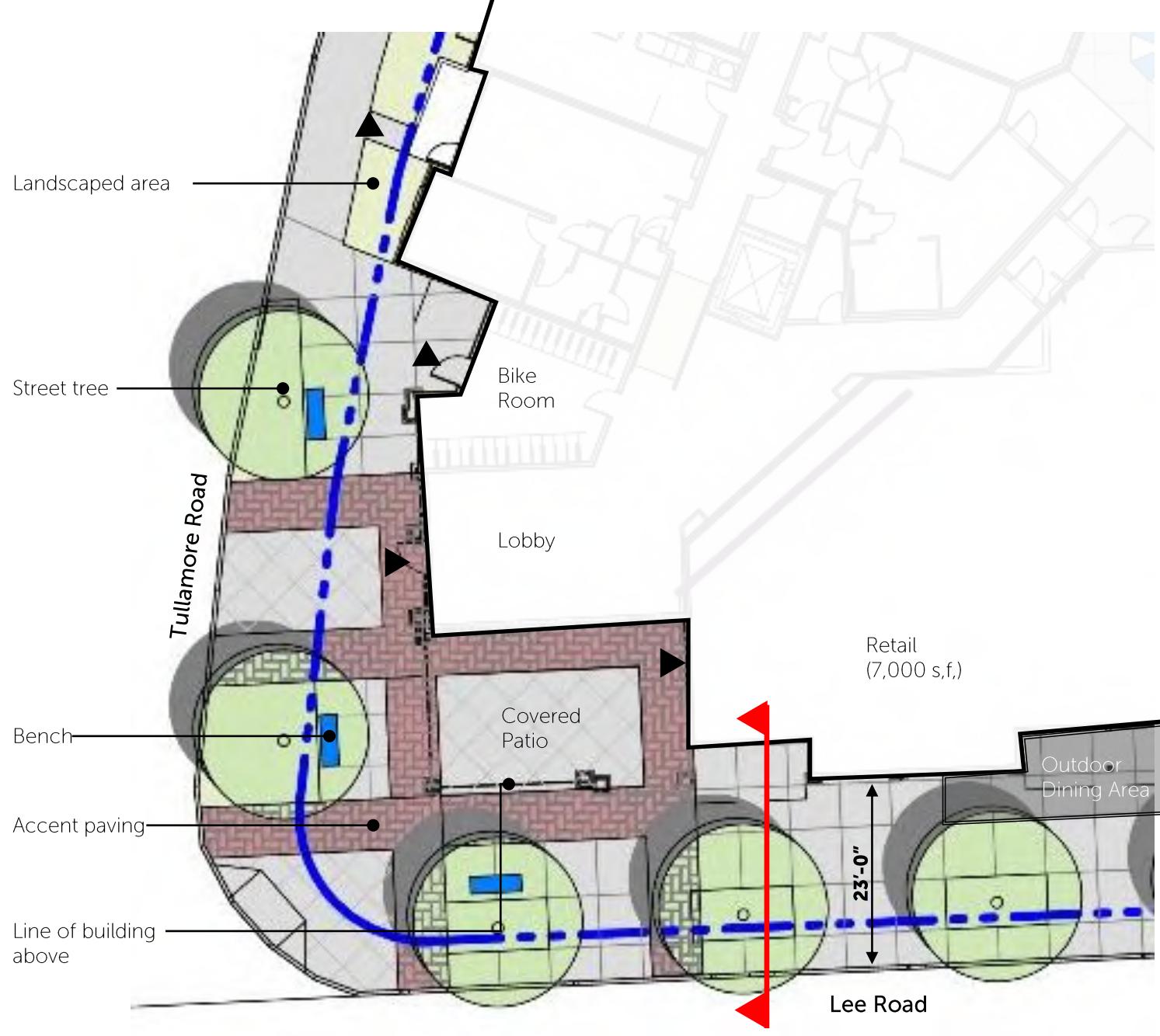
Flaherty & Collins | City Architecture



Cedar Lee Meadowbrook Development | Cedar Lee from mini-park and Boss Dog Patio

Flaherty & Collins | City Architecture



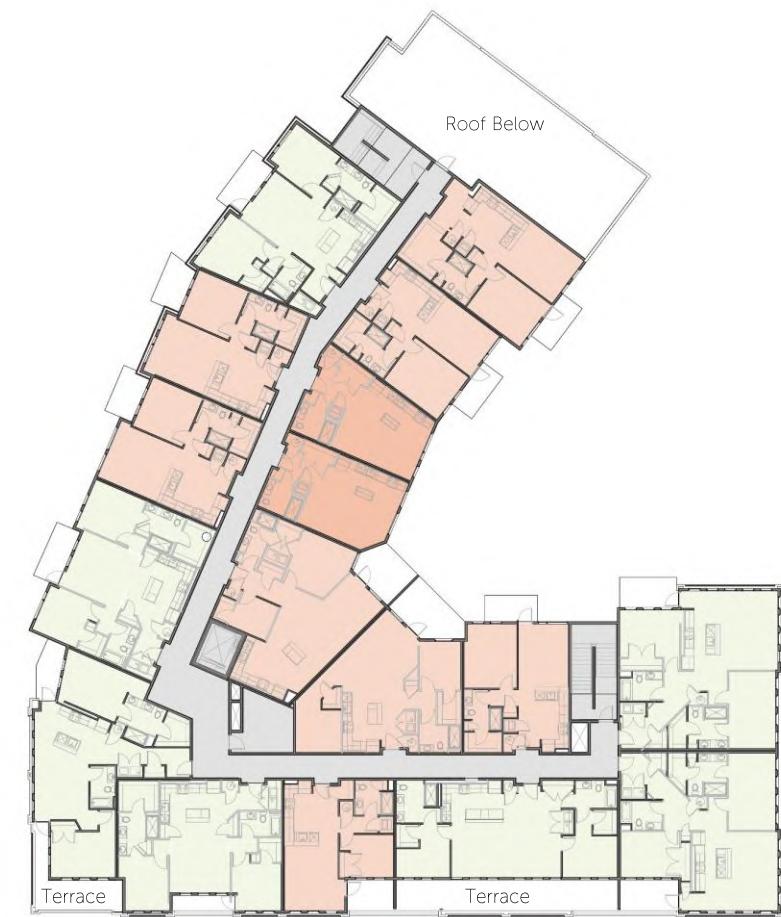




GROUND FLOOR PLAN



SECOND & THIRD FLOOR PLANS



FOURTH FLOOR PLAN

Lee Road 4th Floor Terrace
8'-3" deep for 55% of lineal frontage



Lee Road Elevation (Street level windows = 88.9% of lineal frontage)



Tullamore Road Elevation



Meadowbrook Boulevard Elevation



Courtyard Elevation looking west



Cedar Lee Meadowbrook Development | View looking down Tullamore Road

Flaherty & Collins | City Architecture





Cedar Lee Meadowbrook Development | Lee Road and Tullamore Road intersection

Flaherty & Collins | City Architecture



Cedar Lee Meadowbrook Development | Meadowbrook Site Existing Conditions

Flaherty & Collins | City Architecture



Cedar Lee Meadowbrook Development | View of Meadowbrook activity green space

Flaherty & Collins | City Architecture



Cedar Lee Meadowbrook Development | Meadowbrook Site Existing Conditions

Flaherty & Collins | City Architecture



Cedar Lee Meadowbrook Development | View of Meadowbrook activity green space from Best Gyros

Flaherty & Collins | City Architecture



Cedar Lee Meadowbrook Development | Cedar Lee Meadowbrook Existing Aerial Image

Flaherty & Collins | City Architecture



Cedar Lee Meadowbrook Development | Cedar Lee Meadowbrook Concept

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